



MD of Willow Creek
April 8, 2020 - Regular Council - 10:00 AM

- 1 Call To Order**
 - 1.1 Additions to Agenda
- 2 Minutes**
 - 📎 March 25, 2020 Council Minutes
- 3 Delegations**
- 4 Financial**
 - 📎 Cheque Register04082020
 - 4.1 Cheque Register
- 5 Public Hearings - No Public Hearings are scheduled at this time**
- 6 Council Matters**
 - 6.1 Council Commitments - April
 - 📎 For Information - Council Commitments - April
 - 6.2 RMA Virtual Spring 2020 Resolution Session
 - 📎 RMA Virtual Spring 2020 Resolution Session
 - 6.3 Intermunicipal Collaboration Framework Committee Appointments
 - 📎 RFD - Intermunicipal Collaboration Framework Committee Appointments
- 7 Council Reports**
 - 7.1 Joint Economic Development Initiative Meeting
 - 📎 For Discussion - Claresholm Airport Runway Maintenance
 - 📎 Airport Runway and Taxiway Lands
 - 📎 RFD - Claresholm Airport Runway Crack Sealing - January 2020
- 8 By-Laws and Policies**
 - 8.1 Bylaw No. 1860 - Land Use Bylaw
 - 📎 RFD - Burnco Rock Products Preference Letter
 - 📎 2020-03-26 - Burnco Letter and 2nd Application
 - 📎 A-01-20 Burnco Application for Proposed Bylaw 1860
 - 📎 Bylaw No. 1860 - Land Use Bylaw Rural General to Rural Industrial
 - 8.2 Bylaw No. 1868 - Fees Bylaw
 - 📎 RFD - Fees Bylaw - March 26, 2020
 - 📎 Bylaw No. 1868 - Fees Bylaw

- 8.3 Hiring Policy
 - 📎 RFD - Municipal Hiring Policy
 - 📎 120-45 Hiring Policy
 - 📎 Staffing Request Form
 - 📎 Position Advertising Template
 - 📎 Application Form
- 9 **Correspondence**
- 9.1 Municipal Affairs
 - 📎 Email from Paul Wynnyk
 - 📎 Municipal Governance During the COVID-19 Outbreak
- 9.2 Municipal Affairs - Intermunicipal Collaboration Framework and Study Grant
 - 📎 Municipal Affairs - Town of Fort Macleod Grant Approval Letter
- 9.3 Town of Raymond - Summer Games
 - 📎 Town of Raymond - 2020 Summer Games Cancellation
- 9.4 Town of Nanton - Recycling Centre Agreement
 - 📎 Town of Nanton - Recycling Centre
- 10 **Closed Session**
- 11 **Adjournment**



MD of Willow Creek
Meeting Minutes
Regular Council March 25, 2020 - 09:00 AM

Municipal District of Willow Creek – Administration Office

Claresholm, Alberta

Present through Electronic Communication:

Reeve Maryanne Sandberg
 Deputy Reeve Alm
 Councillor John Van Driesten
 Councillor John Kroetsch
 Councillor Ian Sundquist
 Councillor Darry Markle
 Councillor Evan Berger
 Johanne Hannas - Director of Finance

Present in Chambers:

Chief Administrative Officer Derrick Krizsan
 Sheila Karsten - Recording Secretary
 Kelly Starling - Emergency Services Manager

1 Call To Order

Reeve Sandberg called the meeting to order at 9:16 a.m.

1.1 Additions to Agenda
Resolution No: C-20/136

There are no additions to the agenda.

Moved by Deputy Reeve Alm to adopt the agenda as presented.

CARRIED

2 Minutes

2.1 March 11, 2020 Council Minutes
Resolution No: C-20/137

Moved by Ian to approve the March 11, 2020 Council meeting minutes with amendment to 6.3.3 page 33 that the donation to Fort Macleod Elks and Royal Purple included a set of wine glasses and a jacket.

CARRIED

2.2 March 18, 2020 Special Meeting of Council
Resolution No: C-20/138

Moved by Councillor Sundquist to approve the March 18, 2020 Special Meeting of Council minutes as presented.

CARRIED

3 Delegations - No Delegations at this time

4 Financial

4.1 **Cheque Register**

Director of Finance Hannas presented the cheque register for cheque #'s 24431– 24446 and EFT #'s 2269 – 2294 in the amount of \$152,857.69 as information.

Received for information.

Johanne Hannas left the meeting at 9:26 a.m.

5 **Public Hearings**

No Public Hearings are scheduled at this time.

6 **Council Matters**

6.1 **Council Commitments**

Upcoming commitments for March/April 2020 for Council members were presented. Discussion ensued of future meetings to be held remotely or by teleconference.

Received for information.

6.2 **Request for Public Hearing Date** **Resolution No: C-20/139**

A request from Manager of Planning and Development Cindy Chisholm was presented to set a Public Hearing date for April 8, 2020 at 1:30 p.m. for proposed Bylaw No. 1867 Land Use Bylaw Amendment Application A-02-20 to redesignate the existing 137.55 acre titled parcel from Rural General to Rural Industrial. Discussion ensued as to the Public Health restrictions for social distancing and the potential risk to staff.

Moved by Deputy Reeve Alm to set a Public Hearing date for May 13, 2020 at 1:30 p.m. for proposed Bylaw No. 1867 Land Use Bylaw Amendment Application A-02-20 to redesignate the existing 137.55 acre titled parcel from Rural General to Rural Industrial.

CARRIED

6.3 **High River District Health Care Foundation** **Resolution No: C-20/140**

The High River District Health Care Foundation will have a fundraising Dinner and Auction on Saturday October 17, 2020 and request sponsorship for the event.

Moved by Reeve Sandberg to donate \$1250 for the High River District Health Care Foundation fundraising Dinner and Auction from discretionary funds as follows:

Division 1 - Councillor Van Driesten - \$0
Division 2 - Councillor Kroetsch - \$0
Division 3 - Reeve Sandberg - \$0
Division 4 - Deputy Reeve Alm - \$ 250
Division 5 - Councillor Markle - \$ 250
Division 6 - Councillor Berger - \$ 500
Division 7 - Councillor Sundquist - \$ 250

CARRIED

6.3.1 **Tickets to Fundraising Dinner** **Resolution No: C-20/141**

Moved by Councillor Markle to postpone the invitation to the High River District Health Care Foundation Dinner until an August 2020 Council meeting.

CARRIED

6.4 **Municipal Strategic Plan** **Resolution No: C-20/142**

The Municipal District of Willow Creek Draft Strategic Plan was presented. Council had a planning meeting on February 10 and 11, 2020 and developed a

framework for a long range strategic plan. Strategic Plans are essential to ensure the vision of the community, as communicated by elected officials, is outlined clearly to ensure the operational implementation by administration is in alignment with the vision.

Moved by Councillor Sundquist to accept the Municipal District of Willow Creek Strategic Plan.

CARRIED

**6.5 Summer Games Coordinator Agreement
Resolution No: C-20/143**

The Granum and District Recreational Society has agreed to be the Summer Games Coordinator for the Municipal District of Willow Creek for the 2020 Southern Alberta Summer Games. The wages normally paid to an individual from the levies charged to the participating municipalities will be provided to the Society.

Moved by Councillor Kroetsch the Granum and District Recreational Society be the Summer Games Coordinator for the Municipal District of Willow Creek for the 2020 Southern Alberta Summer Games and to execute the Summer Games Agreement.

CARRIED

**6.6 Nanton Recycling Centre
Resolution No: C-20/144**

A letter from Billy Oulton of Dump Gump Inc. to update Council on the Nanton Recycling Centre was presented. A lease agreement has been signed to run a transfer site out of the community recycling center located in Nanton. The transfer site will be open to rural residents two half days per week to accept cardboard, plastics, paper and cans and may be increased at a later date. Dump Gump Inc. requested the financial support of the Municipal District of Willow Creek for rural residents recycling materials and the potential for future non-recyclable waste pick up.

Moved by Councillor Berger to approve a pro-rated grant of \$10,000 annually based upon the start date to operate recycling services to Municipal District of Willow Creek residents in Nanton and area, with a condition of the grant being Dump Gump Inc. provide a record of the names and rural addresses of the users and the total volume of recycling processed and waste arising from the recycling services from Municipal District of Willow Creek annually.

CARRIED

7 Council Reports

7.1 Oldman River Regional Services Commission

The minutes of the Annual Organizational Board of Directors' meeting on December 5, 2019 for Oldman River Regional Services Commission were presented.

Received for information.

8 By-Laws and Policies

8.1 Bylaw 1862 - Willow Creek Regional Intermunicipal Collaboration Framework

**8.1.1 Second Reading
Resolution No: C-20/145**

Moved by Councillor Sundquist Bylaw No. 1862 be given second reading.

CARRIED

8.1.2**Third Reading****Resolution No: C-20/146**

Moved by Councillor Kroetsch Bylaw No. 1862 be given third and final reading and the Reeve and Chief Administrative Officer be authorized to sign and counter sign on behalf of the Municipal District.

CARRIED

9**Correspondence****9.1****Events and Invitations****9.1.1****Nanton Days Parade****Resolution No: C-20/147**

The Nanton Booster Club is hosting and sponsoring the annual Nanton Days Parade on Monday August 3, 2020. A letter of invitation to ride in the parade was presented.

Moved by Councillor Berger to table the request to a June 2020 Council meeting.

CARRIED

9.2**Letter from Municipal Affairs****Resolution No: C-20/148**

A letter from Municipal Affairs stating the grant application relating to the Hamlet of Granum for the Alberta Community Partnership Program has been approved. The approved grants were \$262,400 for activities associated with the transition of the former Town of Granum and \$1,109,000 for infrastructure upgraded projects and debt servicing for the Hamlet of Granum.

Moved by Deputy Reeve Alm to direct Administration to send a letter to Municipal Affairs thanking them for the funds and to highlight the need for additional funds to address the infrastructure deficit.

CARRIED

6**Council Matters****6.7****Authorization of Signature****Resolution No: C-20/149**

Discussion ensued of business continuity for the signing of documents and cheques during the current COVID-19 guidelines of social distancing and segregation of worksites at the Municipal District of Willow Creek.

Moved by Councillor Van Driesten to authorize Chief Administrative Officer Krizsan and Director of Finance Hannas to execute cheques on behalf of the Municipality.

CARRIED

10**Closed Session****Resolution No: C-20/150**

Moved by Councillor Sundquist to go into closed session at 10:07 a.m.

CARRIED

Kelly Staring entered the meeting at 10:09 a.m.

Kelly Starling left the meeting at 10:40 a.m.

10.1

This portion of the meeting closed pursuant to Section 197 of the Municipal Government Act and Section 23 - Local public body confidences of the Freedom of Information and Protection of Privacy Act

Resolution No: C-20/151

Moved by Councillor Van Driesten to come out of closed session at 10:51 a.m.

CARRIED

11

Adjournment

Resolution No: C-20/152

Moved by Councillor Sundquist to adjourn at 10:54 a.m.

CARRIED

Reeve

Chief Administrative Officer

DRAFT

Ranges: From: To: From: To:
 Cheque Number First Last Cheque Date 2020-04-01 2020-04-08
 Vendor ID First Last Chequebook ID First Last
 Vendor Name First Last

Sorted By: Cheque Number

* Voided Cheques

Cheque Number	Vendor ID	Vendor Cheque Name	Cheque Date	Chequebook ID	Audit Trail Code	Amount
24447	ACTI-ZYME PRODU	ACTI-ZYME PRODUCTS LTD.	2020-04-08	GENERAL	PMCHQ00002752	\$978.86
24448	ALBERTA FIRE CH	ALBERTA FIRE CHIEFS ASSOC.	2020-04-08	GENERAL	PMCHQ00002752	\$351.14
24449	BARRETT FIRE EQ	BARRETT FIRE EQUIPMENT	2020-04-08	GENERAL	PMCHQ00002752	\$2,801.01
24450	BELL MOBILITY	BELL MOBILITY INC.	2020-04-08	GENERAL	PMCHQ00002752	\$406.41
24451	CAPITAL H2O SYS	CAPITAL H2O SYSTEMS INC.	2020-04-08	GENERAL	PMCHQ00002752	\$2,324.29
24452	CLARESHOLM IGA	CLARESHOLM IGA	2020-04-08	GENERAL	PMCHQ00002752	\$492.75
24453	HARBIDGE, DEAN	HARBIDGE, DEANA	2020-04-08	GENERAL	PMCHQ00002752	\$50.00
24454	HUMPHREY, RUSS	HUMPHREY, RUSS & SHANNON	2020-04-08	GENERAL	PMCHQ00002752	\$100.00
24455	KROENING, LONNI	KROENING, LONNIE	2020-04-08	GENERAL	PMCHQ00002752	\$100.00
24456	LEGACY DODGE CL	LEGACY DODGE CLARESHOLM	2020-04-08	GENERAL	PMCHQ00002752	\$54.60
24457	LETHBRIDGE TRUC	LETHBRIDGE TRUCK EQUIPMENT	2020-04-08	GENERAL	PMCHQ00002752	\$798.00
24458	MCGINNIS, BRUCE	MCGINNIS, BRUCE & JEANETTE	2020-04-08	GENERAL	PMCHQ00002752	\$50.00
24459	ORRSC	ORRSC	2020-04-08	GENERAL	PMCHQ00002752	\$16,473.25
24460	PLANET CLEAN (C	BUNZL	2020-04-08	GENERAL	PMCHQ00002752	\$55.44
24461	PUROLATOR INC.	PUROLATOR INC.	2020-04-08	GENERAL	PMCHQ00002752	\$545.11
24462	QUINLAN, JOSH &	QUINLAN, JOSH & JENN	2020-04-08	GENERAL	PMCHQ00002752	\$50.00
24463	SHOCKWARE INC.	SHOCKWARE WIRELESS INC.	2020-04-08	GENERAL	PMCHQ00002752	\$52.45
24464	SOCIETY OF LOCA	SOCIETY OF LOCAL GOVT MANAGERS	2020-04-08	GENERAL	PMCHQ00002752	\$350.00
24465	VOLKER STEVIN H	VOLKER STEVIN HIGHWAYS LTD.	2020-04-08	GENERAL	PMCHQ00002752	\$2,142.00
EFT000000002295	ACRES INDUSTRIE	ACRES INDUSTRIES Inc	2020-04-01	GENERAL	PMCHQ00002751	\$162,087.11
EFT000000002296	A.A.M.D. & C.	RMA	2020-04-08	GENERAL	PMCHQ00002753	\$7,617.22
EFT000000002297	BENCHMARK ASSES	BENCHMARK ASSESSMENT	2020-04-08	GENERAL	PMCHQ00002753	\$42,619.50
EFT000000002298	BISHOFF'S AUTO	BISHOFF'S AUTO, AG&IND. CENTRE	2020-04-08	GENERAL	PMCHQ00002753	\$4,688.87
EFT000000002299	BROWN OKAMURA &	BROWN OKAMURA & ASSOCIATES LTD	2020-04-08	GENERAL	PMCHQ00002753	\$690.12
EFT000000002300	BROWNLEE LLP	BROWNLEE LLP	2020-04-08	GENERAL	PMCHQ00002753	\$17,282.37
EFT000000002301	CLARESHOLM LOCA	CLARESHOLM LOCAL PRESS	2020-04-08	GENERAL	PMCHQ00002753	\$33.60
EFT000000002302	CLARESHOLM REGI	CLARESHOLM REGISTRIES	2020-04-08	GENERAL	PMCHQ00002753	\$9.00
EFT000000002303	CRAZY STITCH	CRAZY STITCH	2020-04-08	GENERAL	PMCHQ00002753	\$157.50
EFT000000002304	DBS ENVIRONMENT	DBS ENVIRONMENTAL	2020-04-08	GENERAL	PMCHQ00002753	\$173.25
EFT000000002305	DIGITAL CONNECT	DIGITAL CONNECTION INC.	2020-04-08	GENERAL	PMCHQ00002753	\$699.37
EFT000000002306	EAGLE ALLOYS LT	EAGLE ALLOYS LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$3,529.50
EFT000000002307	F.C.S.S.-CHOIM	F.C.S.S. CLARESHOLM	2020-04-08	GENERAL	PMCHQ00002753	\$20,134.56
EFT000000002308	FERG'S SEPTIC S	FERG'S SEPTIC SERVICE LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$3,822.00
EFT000000002309	FOOTHILLS F&G A	FOOTHILLS FORAGE & GRAZING ASS	2020-04-08	GENERAL	PMCHQ00002753	\$520.28
EFT000000002310	FOOTHILLS FORD	FOOTHILLS FORD	2020-04-08	GENERAL	PMCHQ00002753	\$773.64
EFT000000002311	FORT GARRY FIRE	FORT GARRY FIRE TRUCKS LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$456.44
EFT000000002312	FRASER, PERRY	FRASER, PERRY	2020-04-08	GENERAL	PMCHQ00002753	\$146.60
EFT000000002313	GREATWEST KENWO	GREATWEST KENWORTH LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$90.30
EFT000000002314	GREGG DISTRIBU.	GREGG DISTRIBUTORS CALGARY LTD	2020-04-08	GENERAL	PMCHQ00002753	\$3,931.58
EFT000000002315	HIGH RIVER DIST	HIGH RIVER DISTRICT HEALTH CAR	2020-04-08	GENERAL	PMCHQ00002753	\$1,250.00
EFT000000002316	INTEGRA TIRE	ATKINSON HOLDINGS LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$2,184.00
EFT000000002317	LAKELAND FIRE &	LAKELAND FIRE & SAFETY	2020-04-08	GENERAL	PMCHQ00002753	\$309.75
EFT000000002318	MAXIM CHEMICAL	AGROMAX DISTRIBUTORS INC	2020-04-08	GENERAL	PMCHQ00002753	\$32,634.00
EFT000000002319	METERCOR INC.	METERCOR INC.	2020-04-08	GENERAL	PMCHQ00002753	\$64,496.25
EFT000000002320	MNP LLP	MNP LLP	2020-04-08	GENERAL	PMCHQ00002753	\$8,820.00
EFT000000002321	MPE ENGINEERING	MPE ENGINEERING LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$4,515.00
EFT000000002322	NANTON QUALITY	NANTON QUALITY OF LIFE FOUNDAT	2020-04-08	GENERAL	PMCHQ00002753	\$11,780.90
EFT000000002323	PUMPS & PRESSUR	PUMPS & PRESSURE INC.	2020-04-08	GENERAL	PMCHQ00002753	\$133.88
EFT000000002324	REG O'SULLIVAN	REG O'SULLIVAN CONSTRUCTION LT	2020-04-08	GENERAL	PMCHQ00002753	\$4,158.00
EFT000000002325	ROADATA SERVICE	ROADATA SERVICES LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$189.00
EFT000000002326	SEDGWICK, DOUG	SEDGWICK, DOUG	2020-04-08	GENERAL	PMCHQ00002753	\$14,748.42
EFT000000002327	SHAW CABLE SYST	SHAW CABLE SYSTEMS	2020-04-08	GENERAL	PMCHQ00002753	\$194.60
EFT000000002328	SHAWNE EXCAVATI	SHAWNE EXCAVATING & TRUCKING L	2020-04-08	GENERAL	PMCHQ00002753	\$7,533.49
EFT000000002329	SILVER AUTO	SILVER AUTOMOTIVE (LETH) LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$2,199.19
EFT000000002330	STANDENS LTD.	STANDENS LTD.	2020-04-08	GENERAL	PMCHQ00002753	\$131.78
EFT000000002331	SUNCO COMMUNICA	SUNCO Communication & Installa	2020-04-08	GENERAL	PMCHQ00002753	\$438.18

* Voided Cheques

Cheque Number	Vendor ID	Vendor Cheque Name	Cheque Date	Chequebook ID	Audit Trail Code	Amount
EFT000000002332	TELUS-BURNABY	TELUS	2020-04-08	GENERAL	PMCEQ00002753	\$327.30
EFT000000002333	THE MACLEOD GAZ	THE MACLEOD GAZETTE	2020-04-08	GENERAL	PMCEQ00002753	\$86.98
EFT000000002334	TOWN OF FORT MA	TOWN OF FORT MACLEOD	2020-04-08	GENERAL	PMCEQ00002753	\$11,780.90
EFT000000002335	TOWN OF NANTON	TOWN OF NANTON	2020-04-08	GENERAL	PMCEQ00002753	\$72.98
EFT000000002336	TOWN OF STAVELY	TOWN OF STAVELY	2020-04-08	GENERAL	PMCEQ00002753	\$9,738.88
EFT000000002337	UNIFIRST CANADA	UNIFIRST CANADA LTD.	2020-04-08	GENERAL	PMCEQ00002753	\$493.15
EFT000000002338	WI-COM SOLUTION	WI-COM SOLUTIONS Inc,	2020-04-08	GENERAL	PMCEQ00002753	\$350.28
EFT000000002339	WILLOW REG WAST	WILLOW CREEK REG. WASTE MGMT	2020-04-08	GENERAL	PMCEQ00002753	\$1,904.05
EFT000000002340	YELLOW PAGES IN	YELLOW PAGES GROUP	2020-04-08	GENERAL	PMCEQ00002753	\$310.63

Total Cheques:	65	Total Amount of Cheques:				\$478,419.71
=====						



Municipal District of Willow Creek #26 For Information

Agenda Item #

Date Submitted: March 16, 2020

Originated by: Administration

Subject: Council April Commitments

RECOMMENDATION

Receive for Information.

SUMMARY

Council has the following commitments for April

APRIL

April 7 – 1:00 p.m - Energizing Agriculture Transformation (EAT) Roundtable (online Web meeting)

April 8 – 8:30 a.m. – Audit Committee meeting (Reeve – Deputy Reeve) (Zoom Meeting)

April 8 – 9:00 a.m. – MPC and Council Meeting (Zoom Meeting)

April 22 – 9:00 a.m. – ASB and Council Meeting (Zoom Meeting)

April 24 – 2:00 p.m. – RMA Virtual Spring 2020 Resolution Session (Details TBA)

April 27 – *cancelled* – Claresholm Volunteer Appreciation (tentative)

April 30 – *cancelled* – Stavely Volunteer Appreciation at Stavely Community Centre (tentative)

Prepared By:

Sheila Karsten

Director / CAO / Committee

Reviewed and Approved for Agenda

–
Chief Administrative Officer

RMA Virtual Spring 2020 Resolution Session

Hello everyone,

As you are aware, due to the cancellation of the RMA's Spring 2020 Convention, we have not yet held a spring 2020 resolution session. Resolutions are crucial to ensuring member direction drives RMA's advocacy efforts, and therefore cancelling spring 2020 resolutions is not an option.

As an alternative to the traditional in-person resolution session, RMA will hold a virtual resolution session from **2:00pm – 3:30pm on Friday, April 24**. At this point, we are still working out the details of how the session will be delivered, but please be aware that to participate effectively (speak to resolutions, engage in debate, and vote on resolutions and amendments) members may require internet access capable of displaying a webinar and supporting two-way audio communication, as well as a cell phone capable of voting by text message. Note that although councils may be able to view the resolution session in a group from a county office or other venue (assuming social distancing protocols can be followed), each individual councillor will require their own unique voting identifier (which will likely be a cell phone number). Please note that we are continuing to determine the best use of technology to deliver the session and detailed participation instructions will be shared closer to the session date.

Also, please note that emergent resolutions will be accepted until **4:00pm on Friday, April 17**. Upon receiving emergent resolutions, the resolutions committee will review each and determine whether they meet the criteria as emergent. More details on this process will be shared with members closer to the session date as well.

The submitted resolution package can be [viewed here](#). Members who are responsible for moving and seconding a resolution will find information on that process in the detailed instructions that will be made available closer to the session date.

Please pass this email along to all councillors in your municipality.

Thanks,

Wyatt Skovron

Senior Policy Advisor



Office: 780.955.4096
RMAAlberta.com



Municipal District of Willow Creek #26 For Information

Date Submitted: March 27, 2020

Originated by: CAO

Subject: Appointment of 2 Council members to ICF Committee

RECOMMENDATION

To appoint 2 members of Council to the Intermunicipal Collaboration Framework Committee.

SUMMARY

The Willow Creek Regional Intermunicipal Collaboration Framework Committee agreement Section 4.4 states that the "ICF Committee shall consist of Ten (10) members, being Two (2) elected officials appointed by each municipality".

The first order of business for the committee will be the business outlined in Section 4.2 of the agreement:

The ICF Committee will meet on or before June 1, 2020, in order to establish:

*(a) establish the first chairperson of the ICF Committee for the forthcoming year, and the order of annual rotation for the chairperson thereafter, as contemplated within **Schedule "B"** attached to this Intermunicipal Collaboration Framework;*

(b) the goals and priorities for the ICF Committee; and

(c) the agenda for ICF Committee meetings for the forthcoming year; and

(d) the mandate and terms of reference for ICF Subcommittees;

(e) the mandate for an ICF Subcommittee to review, report upon, and provide recommendations to the ICF Committee regarding, regional recreation services, which is to be completed on or before June 1, 2021.

BACKGROUND



The Willow Creek Regional Intermunicipal Collaboration Framework agreement was adopted by the MD of Willow Creek in March 2020.

The framework is intended to:

- provide for integrated and strategic planning, delivery and funding of intermunicipal services
- allocate scarce resources efficiently in the providing local services
- ensure municipalities contribute funding to services that benefit their residents

ATTACHMENTS

Willow Creek Regional Intermunicipal Collaboration Framework agreement

Prepared By:	Reviewed and Approved for Agenda
	
_____ Director / CAO / Committee	_____ Chief Administrative Officer



Municipal District of Willow Creek #26 For Discussion

Date Submitted: April 3, 2020

Originated by: CAO

Subject: JEDI Meeting Discussion – Claresholm Airport Runway Maintenance

RECOMMENDATION

To review the proposal by the Town of Claresholm pertaining to cost sharing of the Airport Runway maintenance and ownership of the airport.

SUMMARY

The April 2, 2020 JEDI meeting discussed the airport runway maintenance project.

The Town of Claresholm proposed to transfer the ownership of certain lands (outlined on the attached map) to MDWC and to participate in the airport runway maintenance project with its portion of the projected \$68,469.20 cost to be paid over the next 2 budget years.

BACKGROUND

Significant cracks in the runway at the Claresholm airport risk moisture penetration into the base materials which will in turn – due to the freeze / thaw cycle - threaten the structure and reduce the remaining lifespan of the runway.

Crack sealing and fogging of the runway and applying a sand / slurry mixture to the taxiways will aid in reducing moisture infiltration. Airport standards require that the runway be painted following completion of this project.

A MDWC Council delegation attended a Town of Claresholm council meeting to discuss this matter in March with notification made by the Town to the MD that a decision would be provided to the MD at a future JEDI meeting.

ATTACHMENTS

RFD – Claresholm Airport Runway Maintenance

Map of Claresholm Airport outlining lands to be transferred to the MD

FOIP

n/a

Prepared By:

Reviewed and Approved for Agenda





Municipal District of Willow Creek #26 For Information

Date Submitted: January 20, 2020

Originated by: CAO

Subject: Claresholm Runway Crack Sealing

RECOMMENDATION

To review the attached information pertaining to the Claresholm Runway Crack Sealing Project.

SUMMARY

Administration was tasked to seek options for the crack filling of the Claresholm Airport.

An estimate of work is as follows:

Crack Sealing runway (Contractor) - \$17,838.60

Fogging runway with SS1 Oil (MD Willow Creek) - \$15,105.00

Sand / Oil slurry of taxiway - \$25,000

Painting to standard (runway lines, taxiway and hold lines and Logo) - \$10,525.60

Total: \$68,469.20 plus GST

BACKGROUND

Significant cracks in the runway at the Claresholm airport risk moisture penetration into the base materials which will in turn – due to the freeze / thaw cycle - threaten the structure and reduce the remaining lifespan of the runway.

Crack sealing and fogging of the runway and applying a sand / slurry mixture to the taxiways will aid in reducing moisture infiltration. Airport standards require that the runway be painted following completion of this project.

ATTACHMENTS

Crack Sealing Quote

Prepared By:

Director / CAO / Committee

Reviewed and Approved for Agenda

Chief Administrative Officer



Municipal District of Willow Creek #26 For Decision

Agenda Item #

Date Submitted: March 26, 2020

Originated by: Burnco Rock Products Ltd.

Subject: Bylaw 1860 – Burnco Rock Products Ltd. letter of preferences

RECOMMENDATION

Review the attached Burnco Rock Products Ltd. letter, submitted March 26, 2020.

Recommend Council consider No. 2 Subdivision / Land Use Application 86.19 acres – Appendix 2, and give Bylaw 1860 third and final reading.

Or

Defeat Bylaw 1860.

If Bylaw is defeated, the applicants would be required to submit a new Land Use Bylaw Amendment application.

SUMMARY

Burnco's preference remains a dual zoning scenario that has no subdivision, but is willing to proceed with subdivision under scenario No. 2

BACKGROUND

The existing parcel SE/SW 05-17-28-W4M is currently 126.00 acres and zoned Rural General. Land Use Bylaw Amendment application was presented on March 11, 2020 to Council to request the parcel be redesignated to Rural Industrial to accommodate a future development permit for proposed Class I resource extraction operation.

Bylaw 1860 had received 1st and 2nd reading by Council on March 11, 2020.

Council requested Burnco Rock Products Ltd. amend their application to reflect the area to be redesignated, be reduced to the 52 acres as shown on Burnco's submitted plan.

ATTACHMENTS

- Burnco Rock Products Ltd. letter, dated March 25, 2020
- Current Land Use Bylaw Amendment Application No. A-01-20 and Bylaw 1860

Prepared By:

Director / CAO / Committee

Reviewed and Approved for Agenda

Chief Administrative Officer

March 26, 2019

Cindy Chisholm
Manager of Planning & Development
M.D. of Willow Creek No. 26
#26, Highway 520 West
Claresholm Industrial Area
Box 550, Claresholm, Alberta T0L 0T0
(Tel) 403-6253351
e-mail: cindyc@mdwillowcreek.com

**Re: BURNCO Nanton Gravel Pit
Land Use Redesignation Application – Proposed Bylaw 1860**

On March 13th, BURNCO Rock Products Ltd. (BURNCO) was grateful to receive notice that 1st and 2nd reading had been given by Willow Creek for Bylaw 1860, which had been submitted to redesignate 126 acres of land from the existing “Rural General – RG” designation to “Rural Industrial-RI” related to BURNCO’s Nanton Gravel Pit. The decision included the following instruction:

“...Council has requested the Land Use Bylaw application be amended to reflect the area to be redesignated be reduced to the 52 acres as shown on the submitted site plan.

Once the Bylaw No. 1860 has been given 3rd and final readings, the Bylaw will be passed. A Subdivision application may be submitted and processed by Oldman River Regional Services Commission (ORRSC)...”

While the request to reduce area for redesignation had been discussed, BURNCO had not contemplated the prospect of needing to subdivide out the 52 acres from the larger 126 acre parcel. BURNCO has experienced dual zoning on a single parcel in other jurisdictions and had assumed this would be the approach taken here. After discussing with administration, BURNCO has elected to provide two amended Land Use applications for consideration by council:

1) Dual Zoning Land Use Application 51.44 Acres - (Appendix 1)

Under this application, BURNCO would hope for approval only under the circumstance that Willow Creek was comfortable with no subdivision. This is to say that the MD accepts the premise of dual zoning on a single legal parcel.

BURNCO’s primary concern with subdividing the 52 acre parcel is due to the odd property shapes that would be created. The remaining Rural General Property would be a “U” shape with hard to access areas that would be inefficient for farming and maintenance. Further, the BURNO development is a temporary use. This development is expected to be active for roughly ten years and BURNO would question the future of the two parcels created in this scenario. It is likely they would have to be consolidated in future to be salable as farm land.

This creates a significant amount of additional time and costs associated with surveying, dealings with Alberta Land Titles, and conversations with the O.R.R.S.C, and the MPC.

BURNCO's preference would be to rezone the 52 acres without needing to subdivide. BURNCO fully acknowledges the concerns about industrial development "creep" discussed by council and feels that a dual zoning situation provides the same amount of protection against this scenario as the creation of two parcels. As stated at the beginning of this letter, BURNCO has seen this approach taken by other jurisdictions.

2) Subdivision Land Use Application 86.19 Acres – Appendix 2

If Willow Creek is firm in its conviction that subdivision is necessary to allow for rezoning, then BURNCO would ask that the Council approve this amended application which divides the 126-acre property into the two parcels shown in Appendix 2. One 86.19-acre parcel to be rezoned as Rural Industrial-RI. A further 39.81 acres to remain as Rural General – RG.

It is BURNCO's belief that these parcel shapes make more sense while fulfilling the Council desire to limit the potential for industrial "creep" on the property. BURNCO notes that the proposed 86.19-acre parcel is surrounded by Silver Lake on the North and West sides where the bulk of the area is being added.

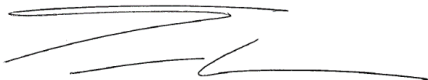
BURNCO's preference remains a dual zoning scenario that has no subdivision but is willing to proceed with subdivision under this scenario.

Finally, if neither of these scenarios is acceptable to the Council, BURNCO is of the belief that a further option might be for BURNCO to reapply for Direct Control zoning on the full 126 acre property. This would give the MD full control over any development on the lands. If both of the above applications fail, BURNCO would propose to reapply to the county under this approach.

We thank you for your time and consideration.

Sincerely,

BURNCO Rock Products Ltd



Travis Coates, P. Eng
Land and Resource Manager - Alberta and Saskatchewan
Phone: (403) 640-9217
Email: travis.coates@burnco.com

Appendix 1: Nanton Gravel Pit - Land Use Application (Dual Zoning)

THE MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

Box 550, Claresholm, AB T0L 0T0

Phone (403) 625-3351

Fax (403) 625-3886

www.mdwillowcreek.com

FOR OFFICE USE ONLY

**APPLICATION FOR A
LAND USE BYLAW AMENDMENT**

IMPORTANT: This information may also be shared with appropriate government/other agencies (e.g. Alberta Agriculture, Food and Rural Development; Alberta Environment; the regional health authority) and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact The Municipal District of Willow Creek No. 26.

Application No. _____

Fees Submitted: \$ _____

Site Inspection: _____

Form IAPPLICANT: BURNCO Rock Products Ltd Telephone (403) 255-2600ADDRESS: Main Floor 155 Glendee Circle SE, Box 1480, Station T, Calgary, AB Fax: _____T2H 2P9 Bus/Cell: _____REGISTERED OWNER: Tricycle Lane SAB Ltd. Telephone: (403) 640-9355

LEGAL DESCRIPTION: Lot(s) _____ Block _____ Plan _____

OR: Quarter S/2 Section 05 Township 17 Range 28 W 4 M**PROPOSED AMENDMENT:**From: Rural General (51.44 Acres)To: Rural Industrial (51.44 Acres)

APPLICANT'S SUBMISSION: Please state your reasons for applying for this amendment and if applicable, supply details of future plans/development, complete with sketches that illustrate the proposal. Attaching separate sheets will be necessary.

BURNO Rock Products Ltd. is applying for this amendment, to allow for the extraction and processing of aggregate products from the property. The reason for this amendment is to allow for the extraction and processing of aggregate products from the property. Please see attached Development Permit application for all necessary information.

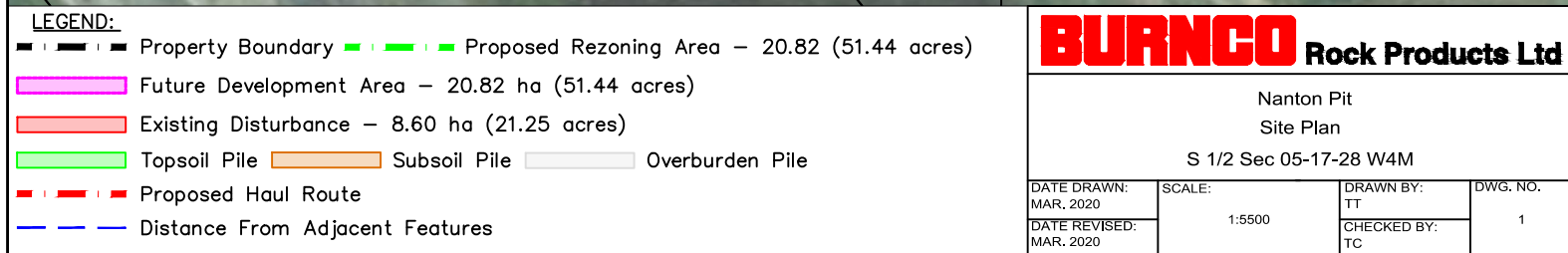
REGISTERED OWNER OR PERSON ACTING ON BEHALF OF: I/we agree to the collection and sharing of this information contained in this application, and any other information that may be required to verify and evaluate this application as explained above. I have submitted particulars concerning the completion of the proposed development and agree to comply in all respects with any conditions that may be attached to any development permit that is issued and with any other bylaws that are applicable. I am aware I may be required to pay for all local improvement costs, which include drainage, sidewalks, road construction, street lighting, water and sewer main extensions, utility connection fees and installation costs at the present established rate.

I have read and understand the terms noted above and hereby apply for that described above and/or on the attached plans and specifications. I further certify the registered owner(s) of the land described above is aware of this application.

DATE: March 26, 2020

SIGNED: _____

Thomas Tyler
Applicant(s)



Appendix 2: Nanton Gravel Pit - Land Use Application (Subdivision)

THE MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

Box 550, Claresholm, AB T0L 0T0

Phone (403) 625-3351

Fax (403) 625-3886

www.mdwillowcreek.com

FOR OFFICE USE ONLY

**APPLICATION FOR A
LAND USE BYLAW AMENDMENT**

IMPORTANT: This information may also be shared with appropriate government/other agencies (e.g. Alberta Agriculture, Food and Rural Development; Alberta Environment; the regional health authority) and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact The Municipal District of Willow Creek No. 26.

Application No. _____

Fees Submitted: \$ _____

Site Inspection: _____

Form IAPPLICANT: BURNCO Rock Products Ltd Telephone (403) 255-2600ADDRESS: Main Floor 155 Glendee Circle SE, Box 1480, Station T, Calgary, AB Fax: _____T2H 2P9 Bus/Cell: _____REGISTERED OWNER: Tricycle Lane SAB Ltd. Telephone: (403) 640-9355

LEGAL DESCRIPTION: Lot(s) _____ Block _____ Plan _____

OR: Quarter S/2 Section 05 Township 17 Range 28 W 4 M**PROPOSED AMENDMENT:**From: Rural (86.19 Acres)To: Rural Industrial (86.19 Acres)

APPLICANT'S SUBMISSION: Please state your reasons for applying for this amendment and if applicable, supply details of future plans/development, complete with sketches that illustrate the proposal. Attaching separate sheets will be necessary.

BURNO Rock Products Ltd. is applying for this amendment, to allow for the extraction and processing of aggregate products from the property. The reason for this amendment is to allow for the extraction and processing of aggregate products from the property. Please see attached Development Permit application for all necessary information.

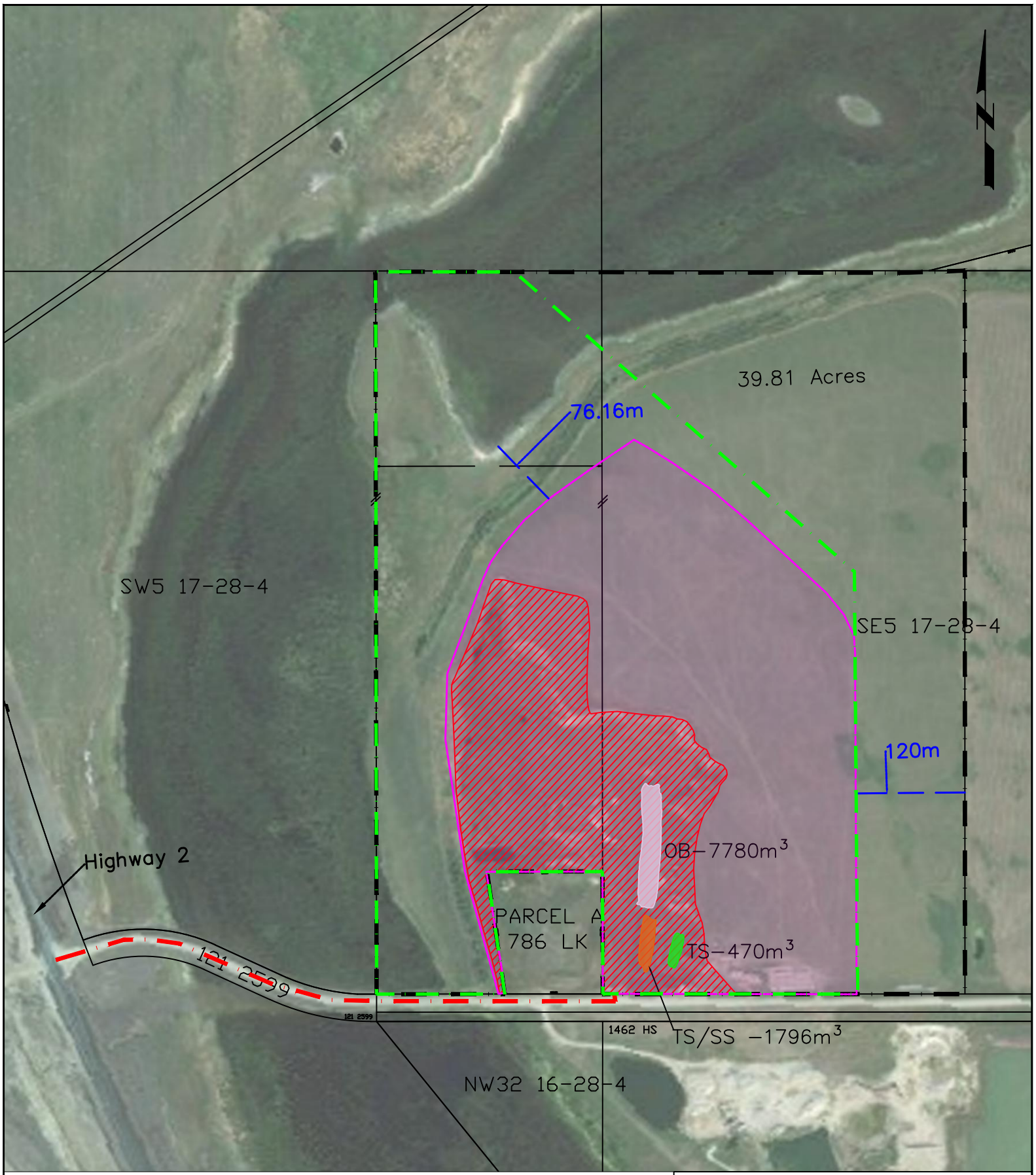
REGISTERED OWNER OR PERSON ACTING ON BEHALF OF: I/we agree to the collection and sharing of this information contained in this application, and any other information that may be required to verify and evaluate this application as explained above. I have submitted particulars concerning the completion of the proposed development and agree to comply in all respects with any conditions that may be attached to any development permit that is issued and with any other bylaws that are applicable. I am aware I may be required to pay for all local improvement costs, which include drainage, sidewalks, road construction, street lighting, water and sewer main extensions, utility connection fees and installation costs at the present established rate.

I have read and understand the terms noted above and hereby apply for that described above and/or on the attached plans and specifications. I further certify the registered owner(s) of the land described above is aware of this application.

DATE: March 26, 2020

SIGNED: _____

Thomas Tyler
Applicant(s)



LEGEND:

- Property Boundary
 Proposed Rezoning Area – 34.88 ha (86.19 acres)
- Proposed Future Development Area – 20.82 ha (51.44 acres)
- Existing Disturbance – 8.60 ha (21.25 acres)
- Topsoil Pile
 Subsoil Pile
 Overburden Pile
- Proposed Haul Route
- Distance From Adjacent Features

BURNCO Rock Products Ltd

Nanton Pit
Site Plan
S 1/2 Sec 05-17-28 W4M

DATE DRAWN: MAR. 2020	SCALE: 1:5500	DRAWN BY: TT	DWG. NO. 1
DATE REVISED: MAR. 2020		CHECKED BY: TC	



MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

STAFF REPORT

Meeting Date: March 20, 2020 at 1:30 p.m.

To:	Reeve & Councillors
From:	Cindy Chisholm, Manager of Planning and Development
Date:	March 11, 2020
Subject:	Application No. A-01-20 / Proposed Bylaw No. 1860 – Land Use Bylaw Amendment 'Rural General (RG) to 'Rural Industrial (RI)'
Legal:	SE/SW 05-17-28-W4M

Summary

The attached proposed Bylaw 1860 was created in response to an application for a Land Use Bylaw Amendment submitted by applicants Burnco Rock Products Ltd. (registered landowners Tricycle Land SAB Ltd.). The Bylaw seeks to redesignate the subject lands, SE/SW 05-17-28-W4M (126 acres), from 'Rural General - RG' to 'Rural Industrial - RI'. The redesignation will allow for a development permit application for proposed Class I resource extraction operation within the subject lands.

Authority to amend the Land Use Bylaw is vested with Council under the '*Municipal Government Act*' (MGA).

Existing Land Use & Location

The subject lands contains a total of 126 acres. The lands are located approximately 3.5 miles from the Town of Nanton. The lands to the north, east, south and the west by predominantly agricultural lands. Foothills County is adjacent to the north of the subject lands. There are 14 residences within a mile of the lands within the MD of Willow Creek.

The subject lands are bounded on the north and west side by Silver Lake, and adjacent to the south is Twp 170. Access to the pit would be to and from Hwy 2, then onto Twp 170 (gravel

Burnco Rock Products Ltd submitted their detailed application with project activities plan (dated February 2020)

Reference:

MDP No. 1765

Section 4 - Natural Resources

The MD has significant natural resources, some of which are regulated by the Provincial government. Those resources that fall within the purview of the MD include, but are not limited to, sand, gravel and stone. The MD recognizes the importance of the natural resources industry and will work with resource companies and provincial

legislative bodies to allow for the planned and managed extraction of natural resources.

Objectives are as follows:

- To allow for the managed extraction of natural resources;
- To minimize conflicts between natural resource extraction and other existing or future land uses;
- To ensure post resource extraction leaves the land in a developable and useable state; and
- To cooperate with other agencies involved in the management of natural resources, for the preservation of habitat and protection of water quality.

Policies

- Lands subject to resource extraction and/or processing shall be designated as Rural Industrial prior to making application for a development permit or subdivision.
- An open house shall be undertaken by proponents for any new resource extraction or the expansion of an existing operation prior to re-designation and/or development permit applications being processed.
- In consultation with the MD's Public Works department, the resource extraction industry shall be directed to specific haul routes to minimize impact on municipal roads. Where appropriate, the designated haul route shall be the shortest route to the provincial highway network.
- Where appropriate, buffering and screening between the natural resource extraction and adjacent land uses shall be required as a condition for development approval.
- All natural resource extraction operations shall adhere to applicable provincial standards and a reclamation certificate from Alberta Environment shall be required.
- Consultation with provincial and federal governments shall be required to ensure the protection of the MD's historic, environmental, natural, archaeological and cultural resources, from the impacts of proposed resource extraction.

Land Use Bylaw Classification

The intent of the Rural Industrial - RI land use district is to accommodate isolated or grouped noxious, rural industrial, resource extraction or other compatible uses in the municipality without compromising the conservation of agricultural land for agricultural purposes, through the regulation of the following permitted and discretionary uses. There are two permitted uses within this district, *'accessory buildings and accessory structures'*. (Copy of the development regulation for both the existing and proposed land use designation are attached).

Circulation

Pursuant to sections 230, 606 and 692 of the Municipal Government Act, notice of the Public Hearing was placed in The Nanton News for two consecutive weeks (March 4th, and 11th, 2020). Adjacent landowners were notified of the Public Hearing by mail. The following government agencies were also notified, Alberta Environment & Parks, Alberta Environment Regulatory Approvals Center, Alberta Environment & Parks Wildlife Biologists, Alberta Culture and Tourism - Historical Resources, Alberta Health Services, Foothills County, and Oldman River Regional Services Commission.

In addition, the Public Hearing Notice and application were posted on the MD website as of February 26, 2020.

Attachments:

1. Public Hearing Notice
2. Comments submitted:
 - Alberta Environment & Parks, Regulatory Approvals Centre – Meghan Nannt, dated March 2, 2020
 - Alberta Transportation, Leah Olsen, dated March 9, 2020
 - Lynn Que, dated March 11, 2020
 - Foothills County, dated March 10, 2020
 - Lizabet Coulson, dated March 5, 2020
3. Burnco Rock Products Ltd. application – redesignation RG to RI
4. Site Inspection photos
5. Proposed Amending Bylaw No. 1860
6. Newspaper publication March 4th & 11th, 2020
7. Schedule 2 – Rural Industrial land use regulations



NOTICE OF PUBLIC HEARING
THE MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26
IN THE PROVINCE OF ALBERTA

PROPOSED LAND USE BYLAW AMENDMENT

1:30 p.m., Wednesday, March 11, 2020

at

The Municipal District of Willow Creek No. 26, Council Chambers

PURSUANT to sections 230, 606, and 692 of the Municipal Government Act, Statutes of Alberta, Chapter M-26, 2000, as amended, the Council of the Municipal District of Willow Creek No. 26 in the Province of Alberta hereby gives notice of its intention to consider an application submitted by Burnco Rock Products Ltd. (Registered Owner: Tricycle Land SAB Ltd.) to amend Bylaw No. 1826, being the municipal Land Use Bylaw.

THE PURPOSE of the proposed land use bylaw amendment is to redesignate the following parcels of land:

- SE/SW 05-17-28-W4M 126.00 acres

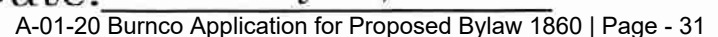
(as shown on the map in Schedule A), from 'Rural General – RG' to 'Rural Industrial – RI'. The redesignation would accommodate a future development application for a proposed Class I resource extraction (gravel pit operation)

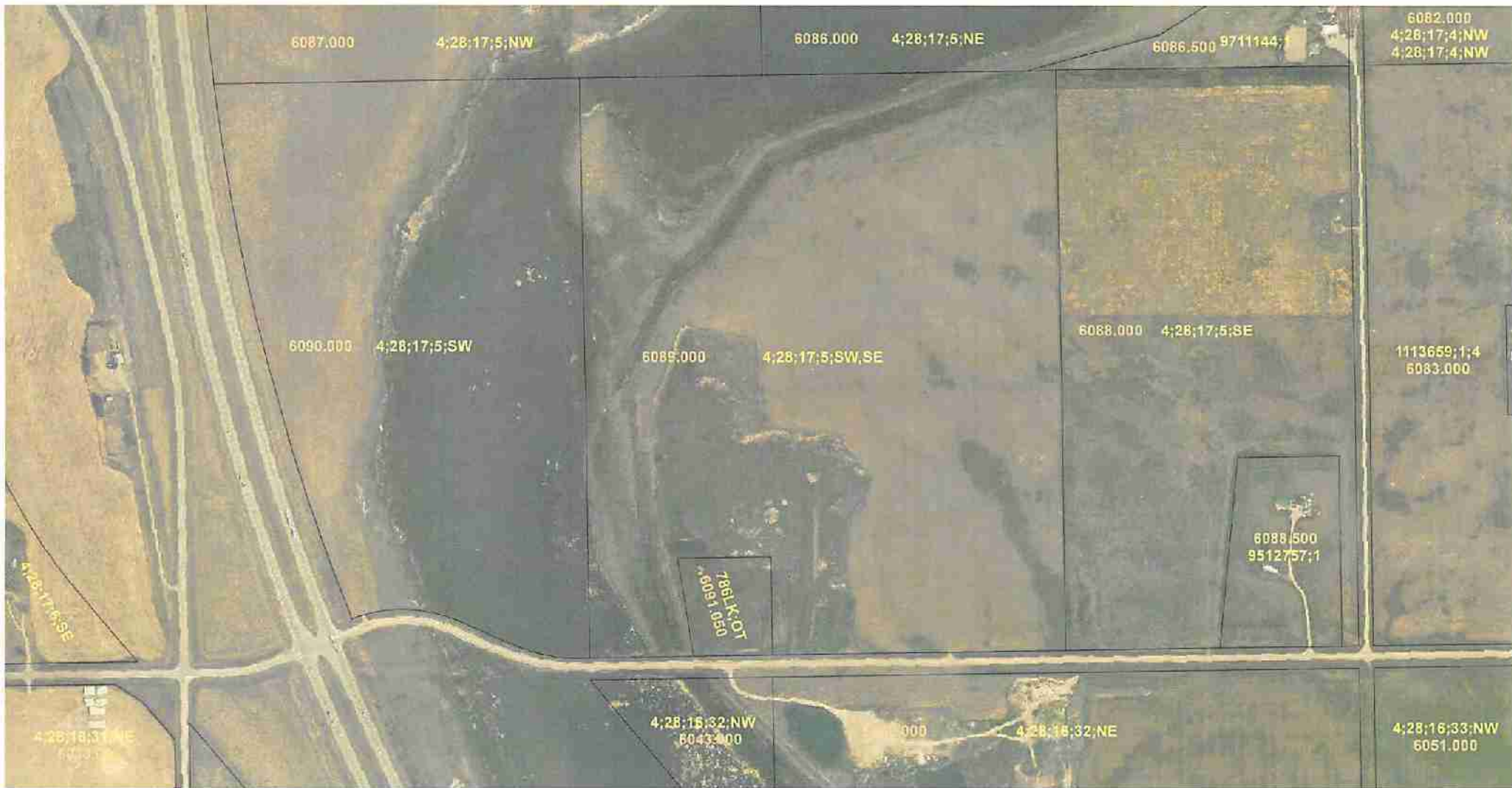
THEREFORE, TAKE NOTICE THAT a public hearing to contemplate the proposed land use bylaw amendment will be held in the Municipal District of Willow Creek No. 26 Council Chambers at **1:30 p.m., on the 11th day of March, 2020.**

AND FURTHER TAKE NOTICE THAT documents relating to this matter may be viewed on the Municipal District's website or inspected at the Municipal District Administration Office, 273129 Hwy 520 West, Claresholm, during normal business hours. Both written and/or verbal presentations may be given at the public hearing. Written submissions are to be forwarded to the Manager of Planning & Development Services at Box 550, Claresholm, Alberta, T0L 0T0 or via email at development@mdwillowcreek.com, **no later than 4:00 p.m. on the 6th day of March, 2020**. Any information submitted will become available to the public and is subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP).

DATED at the Town of Claresholm in the Province of Alberta this 26 day of February, 2020.

Cindy Chisholm
Manager of Planning & Development
MD of Willow Creek No. 26





Cindy Chisholm

From: Meghan Nannt <Meghan.Nannt@gov.ab.ca>
Sent: March 2, 2020 1:38 PM
To: Cindy Chisholm
Subject: RE: Land Use Amendment A-01-20 / Proposed Bylaw 1860 - Burnco Rock Products (RG to RI)

Cindy,

AEP's Regulatory Approvals Centre is currently processing the security request for the Nanton Pit. Once Burnco has provided full security for the pit, Registration 16030-02-00 will be transferred from Burnswest to Burnco.

Regards,

Meghan Nannt

 Alberta Environment
and Parks

From: Cindy Chisholm <cindyc@mdwillowcreek.com> **Sent:** March 2, 2020 11:48 AM
To: Richard Steeves <Richard.Steeves@albertahealthservices.ca>; 'Mike Burla, ORRSC' <mikeburla@orrscc.com>; Brandy Downey <Brandy.Downey@gov.ab.ca>; TRANS Development Lethbridge <trans.developmentlethbridge@gov.ab.ca>; CMSW Historical Lup <Historical.Lup@gov.ab.ca>; AEP EPEA APPLICATIONS <AEP.EPEAAPPLICATIONS@gov.ab.ca>; Meghan Nannt <Meghan.Nannt@gov.ab.ca>; Michelle Armstrong <Michelle.Armstrong@gov.ab.ca>; Brett Boukall <brett.boukall@gov.ab.ca>
Subject: Land Use Amendment A-01-20 / Proposed Bylaw 1860 - Burnco Rock Products (RG to RI)
Importance: High

Good morning all,

Please review the attached application submitted by Burnco Rock Products Ltd. to redesignate SE/SW 05-17-28-W4M from Rural General to Rural Industrial to accommodate a development application for a Class I resource extraction – Gravel Pit operation.

Feel free to circulate this application to other departments you feel need to be aware or should comment on the proposed Land Use Amendment.

Please send your comments, concerns to my attention by March 9th.

Thank you,

Cindy Chisholm

Manager of Planning & Development
MD of Willow Creek No. 26
(403) 625-3351 ext. 235
chisholm@mdwillowcreek.com

Have some fun today ☺

AT File Reference: RSDP029368
Our Reference: 2511-S½ 5-17-28-W4M (2)
Your Reference: Bylaw 1860/Application A-01-20

March 9, 2020

Cindy Chisholm
Manager of Planning & Development
chisholm@mdwillowcreek.com
Municipal District of Willow Creek No. 26
Box 550
Claresholm, AB T0L 0T0

Dear Ms. Chisholm:

**RE: PROPOSED LAND USE REDESIGNATION
PORTION OF S½ 5-17-28-W4M (2)
MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26**

Reference your file to adopt Bylaw No. 1860 to re-designate the above noted parcels of land from "Rural General – RG" to "Rural Industrial - RI" to accommodate future development of a Class I resource extraction (gravel pit operation).

Alberta Transportation's primary objective is to allow subdivision and development of properties in a manner that will not compromise the integrity and associated safe operational use or the future expansion of the provincial highway system.

To that end, we have reviewed the information that was forwarded to your office in support of the proposed Land Use Bylaw Amendment (reference to your Circulation Notice – Bylaw No. 1860, dated February 26, 2020). Strictly from Alberta Transportation's point of view the proposal could be accommodated.

Given the information provided to date and as at this juncture this is merely a change in land use designation. Strictly from Alberta Transportation's point of view, we do not anticipate that the redesignation as proposed would have any appreciable impact on the highway. Therefore, we do not have any objections to the proposed land use redesignation and/or favorable consideration by the Municipal District of Willow Creek No. 26 land use authority.

Notwithstanding the foregoing, the applicant would be advised that any development within 300 metres of the limit of a controlled highway or within 800 metres from the center point of an intersection of a controlled highway and a public road would require the benefit of a permit from Alberta Transportation. This requirement is outlined in the Highways Development and Protection Act and the corresponding Highways Development and Protection Regulation, being Alberta Regulation 326/2009.

The subject property is within the noted control lines and as such any development would **require the benefit of a permit from Alberta Transportation**. To ensure that any future highway expansion plans are not unduly compromised, minimum setbacks would be identified and invoked as condition of approval such that an adequate buffer would be maintained alongside the highway and any other highway related issues could be appropriately addressed. The applicant could contact Alberta Transportation through the undersigned, at Lethbridge 403/381-5426, in this regard.

Alberta Transportation accepts no responsibility for the noise impact of highway traffic upon any development or occupants thereof. Noise impact and the need for attenuation should be thoroughly assessed. The applicant is advised that provisions for noise attenuation are the sole responsibility of the developer and should be incorporated as required into the development design.

Any peripheral lighting (yard lights/area lighting) that may be considered a distraction to the motoring public or deemed to create a traffic hazard will not be permitted.

Thank you for the referral and opportunity to comment.

Yours truly,

Leah Olsen

Digitally signed by Leah Olsen
Date: 2020.03.09
08:24:42 -06'00'

Leah Olsen
Development/Planning Technologist
403-388-3105

LO/

cc: Oldman River Regional Services Commission – mikeburla@orrsc.com

Cindy Chisholm

From: Lynn Que <Lynn.Que@albertahealthservices.ca>
Sent: March 9, 2020 8:22 AM
To: Cindy Chisholm
Cc: Richard Steeves
Subject: AHS Comment Letter RE: Land Use Amendment A-01-20 / Proposed Bylaw 1860 - Burnco Rock Products (RG to RI)



March 11, 2020

Cindy Chisholm
Manager of Planning & Development
MD of Willow Creek No. 26
Sent via email to: cindyc@mdwillowcreek.com

Dear Ms. Chisholm,

Thanks for referring the application to Alberta Health Services (AHS) for review. It's our understanding that this is a land use bylaw amendment to redesignate the parcel of land: SE/SW 05-17-28-W4M from "Rural General" to "Rural Industrial". The subject lands are located in an area where agricultural usage land is predominant and country residential developments are not common. The potential of environmental health impacts from all operations (e.g. noise, dust, truck traffic, diesel emissions, etc.) to the nearby residents are expected to be low. AHS has no concern with the application and would support the MD's decision. AHS also wishes to receive information about future gravel pit operations at the time when permit application is submitted.

Best regards,

Lynn

Lynn Que, M.Eng, CPHI(C), EP
Senior Advisor, Safe Air Program
Public Health Inspector/Executive Officer
Healthy Physical Environments
10101 Southport Road SW
Calgary, Alberta T2W 3N2
Direct: 587-774-6589
Cell: 403-305-7596
Lynn.que@ahs.ca

From: Cindy Chisholm [cindyc@mdwillowcreek.com]

Sent: March 2, 2020 11:48 AM

To: Richard Steeves; 'Mike Burla, ORRSC'; 'Brandy Downey'; 'transdevelopmentlethbridge@gov.ab.ca'; Alberta Culture & Tourism, Historical Resources; 'AEP.EPEAAPPLICATIONS@gov.ab.ca'; Meghan.Nannt@gov.ab.ca;

Michelle.Keohane@gov.ab.ca; 'Brett Boukall'

Subject: Land Use Amendment A-01-20 / Proposed Bylaw 1860 - Burnco Rock Products (RG to RI)

Caution - This email came from an external address and may contain unsafe content. Ensure you trust this sender before opening attachments or clicking any links in this message.

Good morning all,

Please review the attached application submitted by Burnco Rock Products Ltd. to redesignate SE/SW 05-17-28-W4M from Rural General to Rural Industrial to accommodate a development application for a Class I resource extraction – Gravel Pit operation.

Feel free to circulate this application to other departments you feel need to be aware or should comment on the proposed Land Use Amendment.

Please send your comments, concerns to my attention by March 9th.

Thank you,

Cindy Chisholm

Manager of Planning & Development

MD of Willow Creek No. 26

(403) 625-3351 ext. 235

chisholm@mdwillowcreek.com

Have some fun today & #128522;



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FOOTHILLS COUNTY

309 Macleod Trail, Box 5605
High River, Alberta T1V 1M7
Tel: 403-652-2341 Fax: 403-652-7880
www.mdfoothills.com

March 10th, 2020

Attention to: Cindy Chrisholm, Manager of Planning and Development

Regarding: Land Use Bylaw Amendment, SE/SW 05-17-28-W4M

Further to your request of March 2nd to review a proposed land use bylaw amendment on the above noted property, please note that Foothills County has no concerns or comments on this application.

We would respectfully request that future circulations be provided in accordance with the time allowances outlined in the Municipal District of Willow Creek No. 26 & Foothills County Intermunicipal Development Plan.

Thanks you for the opportunity to provide comments on the application. Foothills looks forward to continuing to work cooperatively with the MD of Willowcreek.

Sincerely,

Heather Hemingway, RPP, MCIP
Director of Planning

From: Llizabet
To: Cindy Chisholm
Subject: Proposed Land Use Bylaw Amendment Application A-01-20
Date: March 5, 2020 11:49:44 AM

Hello Cindy,

I just received your notification in the mail re: above application. I am the owner of the adjoining 70ac farmland to the east.

I won't be able to attend the hearing as I am just about to head out the door to the airport and won't be home at that time.

I just googled Class 1 extraction pits for AB's regulations, but couldn't find regulations for future reclamation. Don't have time right now to do any research.

But if I may weigh in on the re-classification to be considered at the hearing -
I am wondering - does it have to be the whole 126 acres to be reclassified as industrial - since there are several residential acreages in this area to the east. Perhaps the reclassification of the west 80 ac of said property along the lake might be sufficient? I saw that Class 1 pits are restricted in size to about 12.5 ha, so there is lots of room there.

The main concern that I have and would like to be considered - and I guess this likely won't be applicable until it has been rezoned and the actual application for the gravel pit comes in would be -
- that there will be a requirement for a reclamation plan to be in place together with sufficient funds set aside for future reclamation once extraction has ceased on a particular part of the the land. This would be to avoid problems AB has right now with abandoned oil wells for which province/tax payers are now responsible t
- with regard to costs of future reclamation requirements once again size and exact location should be considered

Thanks so much.
Sincerely Llizabet

Llizabet Coulson

THE MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

Box 550, Claresholm, AB T0L 0T0

Phone (403) 625-3351

Fax (403) 625-3886

www.mdwillowcreek.com

FOR OFFICE USE ONLY

Roll 6089.000
Bylaw 1860

**APPLICATION FOR A
LAND USE BYLAW AMENDMENT**

IMPORTANT: This information may also be shared with appropriate government/other agencies (e.g. Alberta Agriculture, Food and Rural Development; Alberta Environment; the regional health authority) and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact The Municipal District of Willow Creek No. 26.

Application No. A-01-20

Fees Submitted: \$ 2500.00 ✓

Site Inspection: March 3/2020

Form I

APPLICANT: BURNCO Rock Products Ltd Telephone: _____

ADDRESS: _____ Fax: _____

Bus/Cell: _____

REGISTERED OWNER: Tricycle Lane SAB Ltd. Telephone: _____

LEGAL DESCRIPTION: Lot(s) _____ Block _____ Plan _____

OR: Quarter S/2 Section 05 Township 17 Range 28 W 4 M

PROPOSED AMENDMENT:

From: Rural General

To: Rural Industrial

APPLICANT'S SUBMISSION: Please state your reasons for applying for this amendment and if applicable, supply details of future plans/development, complete with sketches that illustrate the proposal. Attaching separate sheets will be necessary.

BURNO Rock Products Ltd. is applying for this amendment, to allow for the extraction and processing of aggregates products from the property. The reason for this amendment is to allow for the extraction and processing of aggregate products from the property. Please see attached Development Permit application for all necessary information.

REGISTERED OWNER OR PERSON ACTING ON BEHALF OF: I/we agree to the collection and sharing of this information contained in this application, and any other information that may be required to verify and evaluate this application as explained above. I have submitted particulars concerning the completion of the proposed development and agree to comply in all respects with any conditions that may be attached to any development permit that is issued and with any other bylaws that are applicable. I am aware I may be required to pay for all local improvement costs, which include drainage, sidewalks, road construction, street lighting, water and sewer main extensions, utility connection fees and installation costs at the present established rate.

I have read and understand the terms noted above and hereby apply for that described above and/or on the attached plans and specifications. I further certify the registered owner(s) of the land described above is aware of this application.

DATE: February 11th, 2020

SIGNED: _____

Thomas Tyler
Applicant(s)



BURNCO Rock Products Ltd burnco.com
Main Floor, 155 Glendee Circle SE
Box 1480, Station T
Calgary, AB, Canada T2H 2P9

February 14, 2020

Cindy Chisholm
Manager of Planning & Development
M.D. of Willow Creek
#26, Highway 520 West,
Claresholm Industrial Area
Box 550, Claresholm, Alberta T0L 0T0
(Tel) 403-625-3351 Ext 235
e-mail: chisholm@mdwillowcreek.com

**Re: BURNCO Rock Products Ltd - Nanton Gravel Pit
Land Use Bylaw Amendment Application – Rural General to Rural Industrial**

Please accept the following application for the Land Use Bylaw Amendment for a parcel within S1/2 05-17-28 W4M to go from Rural General to Rural Industrial. BURNCO Rock Products Ltd (BURNCO) would like to rezone this parcel so that the extraction and processing of aggregate can properly take place. BURNCO notes that a significant portion of the parcel was mined previously nearly twenty-five years ago. In addition to this disturbance, the M.D. of Willow Creek previously mined a parcel of land, which is adjacent to our property. BURNCO is currently in the process of transferring an Alberta Environment issued Code of Practice, which is currently in good standing. Once the parcel has been rezoned, BURNCO hopes to receive a Development Permit on the planned development area.

Attached are:

- The 2020 Land Use Bylaw Amendment Application;
- 2020 – Nanton Site Plan
- Application Fee in the amount of \$2,500.00; and
- 2020 Nanton Project Summary and Development Permit Application.

BURNCO is of the belief that this site can be operated successfully for years to come. We remain hopeful that with the previous development and our Development Permit Application, the rezoning from Rural General to Rural Industrial amendment application can be approved. We also remain committed to minimizing any community impacts and have addressed these through our ongoing dust, noise, and visual impact mitigation activities.

Sincerely,

BURNCO Rock Products Ltd

Thomas Tyler, E.I.T.
Land and Resource Engineer

AGGREGATE | READY MIX | ASPHALT | LANDSCAPE CENTRES



Development Permit Application & Project Activities Plan

Nanton Gravel Pit
SW 05-17-28 W4M
SE 05-17-28 W4M

BURNCO Rock Products Ltd

February 2020

Executive Summary

BURNCO Rock Products Ltd. (BURNCO) previously operated a gravel pit at S/2 05-17-28 W4M located northwest of the Town of Nanton, Alberta. The site has seen no development or operations for nearly 25 years. BURNCO is seeking a development permit for the property, which will allow the extraction of sand and gravel. The application includes one parcel in its entirety that includes a portion of both the SW 05-17-28 W4M and the SE 05-17-28 W4M. This area includes 51 ha within the two quarters. Land use on the parcels is currently Rural General, but an application has been submitted to change the land use to Rural Industrial.

This application, along with BURNCO's currently Code of Practice (16030-02-00) would create a gravel pit development which BURNCO plans to operate for the next 10 years.

In support of this application, BURNCO has compiled detailed site planning and mitigations and has developed reclamation plans for these lands. This forms the basis of the Project Activities Plan which follows in this document. This document provides detailed activities planning for the life of this development and on all lands associated with this project.

It is BURNCO's belief that by following the Project Activities Plan for the lands associated with the proposed development, that BURNCO's Nanton Gravel Pit can operate in a commercially successful and environmentally responsible manner for many years to come.

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Detailed Report

1.0 Introduction

BURNCO Rock Products Ltd. (BURNCO) previously operated a gravel pit at S/2 05-16-28 W4M located northwest of the Town of Nanton, Alberta. The site has seen no development for nearly 25 years. BURNCO is seeking a development permit for the property, which will allow the extraction of sand and gravel. The application includes one parcel in its entirety that includes a portion of both the SW 05-17-28 W4M and the SE 05-17-28 W4M. This area includes 51 ha within the two quarters. Land use on the parcels is currently Rural General, but an application has been submitted to change the land use to Rural Industrial.

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In support of this application, BURNCO has compiled detailed site planning and mitigations and has developed reclamation plans for these lands. This forms the basis of the Project Activities Plan which follows in this document. This document provides detailed activities planning for the life of this development and on all lands associated with this project.

It is BURNCO's belief that by following the Project Activities Plan for the lands associated with the proposed development, that BURNCO's Nanton Gravel Pit can operate in a commercially successful and environmentally responsible manner for many years to come.

BURNCO's proposed gravel pit will be operated Monday through Saturday from 7:00am to 7:00pm. Operations include aggregate crushing, earthmoving necessary to expose materials and reclaim disturbed areas, and loading trucks with finished construction aggregates. The site will be a daytime operation and the operations scope should not change that. Over time, sales are expected to reach 150,000 tonnes per year.

Aggregate from this site will be used to supply local construction projects.

1.1 Location and Ownership

The land is located along Highway 2 in Willow Creek County and is directly northwest of the Town of Nanton. The total proposed development area is 51 ha. The property is privately held and BURNCO has entered into a lease agreement with the owners for gravel mining. The Land title is included in Appendix 3.

Table 1 – Land Ownership and Occupancy

Location Municipal Address or 1/4-Sec-Twp-Rge-Mer	Registered Owners Name, Address and Phone Number	Occupants Name, Address and Phone Number
SW 05-17-28 W4M SE 05-17-28 W4M	Tricycle Lane Ranches Ltd. PO Box 1480, Station "J" Calgary, Alberta T2H 2P9 (403) 640-9355	Farming Tenant: <u>(SW 05 & SE 05)</u> 2L Farms Ltd. Attention: McKenzie Lorie PO Box 191 Nanton, Alberta T0L 1R0 (403)-851-6779

1.2 Current Land Use

The land is currently designated as Rural General. Under this designation, the land is rotating between a cultivated crop and hay land. The site has an existing Provincial Code of Practice (Registration # 16030-02-00), which has been included in Appendix 3. Please note that the Code of Practice is currently in the process of being transferred from BURNWEST Properties Ltd. to BURNCO Rock Products Ltd. This Code of Practice has been kept in good standing since 2005.

1.3 Adjacent Lands

Lands to the south of the inactive pit contain a Willow Creek County gravel pit. Silver Lake can be found south of the county gravel pit, as well as west and north of BURNCO's inactive pit. Further west of Silver Lake is Highway 2, which is located less than one kilometer from the pit. The remaining properties to the east and south of the pit are being utilized as agricultural land and residences. There are currently thirty-six residences within a two-mile radius of the pit.

2.0 Site Analysis

2.1 Topography

The project area is located north of the Town of Nanton, along the eastern boundary of Silver Lake. The topography of the parcel varies significantly. The previously disturbed area is lower than the undisturbed area, which increases to the north and west. Along the northern and western boundaries of the parcel is a significant vegetated windbreak. The adjacent properties are at a lower elevation than the subject parcel. Overall the elevation varies between 1,022.5 meters above sea level (masl) and 1,035 masl.

2.2 Pit Description

The parcel has a previously mined pit, which is 8.60 ha in total size. This disturbance is along the southern boundary of the parcel and is adjacent to a Willow Creek county pit. The pit was last operated between 1990 and 2000. The proposed pit will include 20.82 ha of land, which is located adjacent to the inactive pit, to the north and east.

2.3 Soil and Resource

2.3.1 Topsoil Texture

- *Silt Loam*
 - o *Very rocky with poor vegetation growth.*
 - *Estimated aggregate content of 30%*

2.3.2 Soil Series

- Orthic Black Chernozem
 - o Rockyview-Lyalta series

2.3.2 Soil, Overburden, and Aggregate Depths

- Topsoil: 0.20 m
- Subsoil: 0.12 m
- Overburden: 1.35 m
- Aggregate 5.80 m

3.0 Development / Operating Plan

3.1 Overview

BURNCO previously operated a gravel pit at S/2 05-17-28 W4M. BURNCO is proposing to increase the overall permitted size of the pit to 20.82 ha, from the current size of 8.6 ha. In total, the lands contain an estimated 1,200,000 tonnes of aggregate and are expected to operate for 10 years. Major activities at the pit will continue to include:

- aggregate crushing
- earthworks
- loading and scaling

Crushing

Crushing is completed with a portable crushing plant. This plant is comprised of several modular components on wheeled chassis. When assembled, the components work together to crush, screen, and convey aggregate materials in the production of construction materials. The plant is mobilized to the site as required and the length of stay is dependent on the type and amount of materials required for anticipated construction projects. It is expected that the use of a portable crushing plant will continue through all phases of the proposed project.



Earthworks

To extract the gravel (pitrun), topsoil and subsoil must be salvaged, and overburden must be removed to expose the gravel beneath. This work is accomplished with heavy machinery such as scrapers, track hoes, articulating trucks, bulldozers, graders. This process is expected to continue as required through all phases of the proposed project.



Loading and Scaling

Once aggregate materials have been processed by the portable crusher and portable wash plant, the final step is to load these materials into trucks for transport to construction projects. This work is accomplished with a loader. Trucks are then weighed and ticketed at a portable commercial truck scale and portable scale house. This process is expected to continue as required through all phases of the proposed project.



These are standard operating activities and previously occurred at the site and at the county pit. The site will also remain as a daytime operation with no operations at night or on Sunday's. Over time, sales are expected to reach 150,000 tonnes per year.

Aggregate from this site will be used to supply local construction projects.

3.2 Hours of Operation

BURNCO proposes the following hours of operation. For all future phases of development, the site will remain a daytime operation:

- Hours for Operating:
 - 7:00 am to 7:00 pm Monday through Saturday
 - No activities on Sunday's
- Hours for Hauling:
 - 7:00 am to 7:00 pm Monday through Saturday
 - No activities on Sunday's

3.3 Development Phasing

A detailed phasing plan is provided in Appendix 1. The key development strategies associated with that phasing plan are as follows:

Phase 1:

- 4.05 ha will be stripped and excavated
- Topsoil and subsoil will be used as a berm along the northern edge of the phase
- Overburden will be used to backfill the existing pit
- Haul route will start from the southern boundary of the property, proceed west along TWP RD. 170 and end on HWY 2
- Scale house will be constructed near the access road at the south of the property

Phases 2:

- 4.07 ha will be stripped and excavated
- Topsoil and subsoil will be used as a berm along the eastern edge of the phase
- Overburden will be used to backfill phase 1
- Haul route will remain unchanged

Phases 3:

- 4.10 ha will be stripped and excavated
- Topsoil and subsoil will be used as a berm along the eastern edge of the phase
- Overburden will be used to backfill phase 2
- Pre-1978 overburden will be used to backfill phase 3
- Haul route will remain unchanged

3.4 Site Securement, Signage, Buffers

Project lands will continue to be secured on all property boundaries with farm fencing. All access points to the project lands such as farm approaches will be gated.

Upon issuance of a development permit for these lands, “Danger No Trespass” signs will be posted every 200m along all property boundaries to inform the general public about the presence of open excavations and provide basic site information.



The primary access point to the project will have lockable steel gates comprised of two 16-foot gates hung on large steel corner posts. Signage will also be provided to identify the site and provide key information. Signs will be 4 feet by 8 feet and mounted on one or both sides of the approach.



There will be a minimum 3m buffer to adjacent property or road allowances. Given the high amount of overburden material available for back-sloping/reclamation purposes no additional extraction setbacks will be required.

3.5 Air Quality Assessment and Control

BURNCO has implemented the following measures to reduce dust generated from the operations:

- A 30km/hour speed limit is enforced in the stockpile area,
- A water truck will be available to water the extraction and processing areas as a means of reducing dust,
- During overburden stripping operations, the dust will be controlled by watering the work area as needed,
- All soil stockpiles will be seeded as soon as possible following construction,
- The disturbance associated with the excavation area will be kept to a minimum by progressively reclaiming mined out cuts thereby reducing the amount of wind-borne dust generated from exposed areas,
- Each separate major component of the crusher (i.e., the cone, jaw and screen deck) will be enclosed by a sound and dust retarder blanket system.

BURNCO is also committed to monitoring the site as necessary to ensure air for the area is not adversely affected. As required to meet Alberta ambient air quality objectives, BURNCO will utilize enhanced mitigation measures. Such enhanced mitigations include:

- Additional dust control (sprinklers, more frequent water truck use, and dust suppressants),
- Reducing site activities during periods of poor air quality,
- Paving of the access road up to and including the scale facility,
- Additional Vegetation planting around receptors.

3.6 Noise Assessment and Control

BURNCO intends to minimize the noise of the operation through the following measures:

- The loader back-up alarm systems will be maintained at the minimum dBA levels allowable under Alberta Occupational Health guidelines. When the equipment is operating during darkness, the noise alarm system is turned off and a strobe light warning system is turned on as an alternative to the warning sounds,
- Access roads will be graded and regularly maintained to reduce traffic noise,
- Each separate main component of the crusher (i.e. the cone, jaw and screen deck) will be enclosed by a sound and dust retarder blanket system. Testing has shown that the sound levels drop significantly from 10-15 dBA with the installation of these blankets,
- Any electrical generating sets will have sound absorbing baffles installed,
- Where feasible highline power will be utilized instead of generators for powering the conveyors, crushers and wash-plant,
- Rubber liners will be used at all conveyor transfer points to reduce the impact noise,
- Where feasible, the use poly screen decks vs. traditional steel screen decks on

- the wash-plant to reduce the sound level,
- All equipment associated with the crusher will be regularly maintained to ensure that it is working properly and that no noise other than normal operating noise is emanating from the equipment,
- Use of engine retarder brakes will not be allowed when trucks are in the stockpile area,
- Strategically place product piles to shield the neighboring areas from the operating equipment,
- Construction of screening berms in strategic locations as detailed in Section 4.1.

Based on this modeling, it is BURNCO's belief that the Project will not create an adverse effect related to noise. The noise environment for the area is already heavily influenced by road traffic on Highway 2. The projected noise increases related to the project are modest. Additionally, these increases would only be experienced during the daytime which would further limit impacts.

BURNCO is also committed to monitoring the site as necessary to ensure noise does not become an adverse effect for the area. As required, BURNCO will utilize enhanced mitigation measures. Such enhanced mitigations include:

- Additional noise control,
- Reducing site activities during periods of excessive noise.

With these options in place, BURNCO is confident that noise will not become a nuisance as a result of this development.

3.7 Erosion and Sediment Control

BURNCO intends to minimize erosion during operation through the following measures:

- During construction and operation, physical barriers such as straw bales and silt fences will be utilized to minimize erosion when necessary
- All drainage will be directed into the excavation

3.8 Environmental Monitoring

Monitoring for particulate, sound, and other emissions will be conducted as required at this site. No permanent monitoring stations are envisioned.

3.9 Surface Water and Ground Water

Existing Dugout

- Approximate size: 554.8 m² (Appendix)
- Are surrounding water body will be sloped 5:1 for a vertical distance of one meter above and one meter below the full supply level.

Release of Pit Water

- No pit water is expected since excavations will be dry pit excavations, therefore there is no need to release pit water

Depth to Groundwater

- Groundwater is approximately 10m below original ground surface

Water Management

- All drainage will be directed to low points within the pit toward the existing dugout.
- Pit operations will not divert, block or impound the natural surface or subsurface drainage

3.10 Groundwater Security

Should any nearby water well users indicate to BURNCO that they believe their water supply has been negatively impacted due to the gravel mining operation, BURNCO will do the following:

- Provide a temporary alternate water supply within 24 hours if a resident is without water,
- Hire an outside consultant within 14 days to determine the cause of the problem,
- Provide a permanent alternate water supply if the problem is at least partially due to BURNCO's mining operation.

3.11 Traffic Impact Assessment and Control

As described in Section 3.3, BURNCO expects to utilize the previous haul route out of S/2 05-17-28 W4M for the remaining extraction phases of the parcel. The route exits the South side of the parcel onto TWP RD 170. Trucks then turn west onto TWP RD 170 and then onto Highway 2. Site volumes are not expected to change significantly during this project and this route is expected to continue to serve adequately.

3.11.1 Haul Safety

All drivers are required to follow the BURNCO trucking policy to ensure BURNCO safety standards as well as the public's expectations are met. Drivers must always practice responsible driving habits and maintain a good driving record. As with all BURNCO operations, company employees and independent truckers involved in the hauling of aggregate must meet three criteria:

- Safety – only the highest standard of safety is appropriate to safeguard the public, the driver's peers and the driver himself or herself,
- Legality – all federal, provincial and municipal laws and regulations must be followed as well as BURNCO's own regulations,
- Efficiency – the least time-consuming, safe and legal hauling route must be taken.

Each spring, independent truckers wishing to work for BURNCO must register themselves and their vehicles by providing, among other things, proof of proper insurance, registration, vehicle inspection, and coverage by the Workers Compensation Board.

3.11.2 Haul Monitoring

BURNCO participates in the Alberta Sand and Gravel Association (ASGA) truck registry program to help monitor trucks. The registry works in the following manner:

- The truck registry requires all gravel truck operators to display a four-digit number, and the phone number 1-866-901-ASGA (2742),
- If someone feels the truck is not operating in a safe and courteous manner, they can phone the complaint line and register a complaint,
- All complaints received via this number are documented and relayed to the producer (i.e. BURNCO) the truck is registered with.

The producer then follows up on the complaint to ensure it is resolved. With the truck registry BURNCO is informed of any problems that are occurring on the haul route and can resolve them promptly.

3.12 Hazardous Waste Plan

All fuel storage sites will be constructed in a manner that follows the *Guidelines for Secondary Containment for Above Ground Storage Tanks*, Alberta Environmental Protection, May 1997, and comply with Part 4 of the *Alberta Fire Code 2006* for tank registrations. A bermed imperviously lined area, or other form of secondary containment, will surround fuel tanks with a minimum 110% holding capacity of the largest tank's capacity.

Any spills within or beyond the bermed area of the above ground storage tanks will be controlled immediately using various techniques including diking and containing. Any spills will be collected using sorbent pads and vacuum trucks.

Materials such as oil, lubricants, glycols, etc. that are stored on-site will be labeled according to the Workplace Hazardous Materials Information System (WHMIS) regulations and will be suitably contained. No waste material will be imported into the pit. All waste material generated from pit operations will be collected and stored in approved containers. This waste material will then be hauled on a regular basis to an approved landfill for proper disposal. Burial of waste will be prohibited during all phases of the operation. Portable sanitary facilities will be located on site. All sanitary waste will be hauled to an approved waste management treatment facility.

4.0 Reclamation Plan

BURNCO always strives to promptly reclaim their operations back to an equivalent land capability and to re-establish a similar grade and drainage patterns that existed prior to disturbance. The site will be predominantly reclaimed back to agricultural use as shown in the reclamation drawings provided in Appendix 1.

4.1 Landscaping and Closure

As there was a previous operation on site, the infrastructure necessary for the operation of a gravel pit is already in place. This includes items such as a designated haul route, screening berms and ponds to allow for dust control. Over time, and as the project develops, new infrastructure will be required and changes to existing infrastructure are also anticipated. A detailed phasing plan is provided in Appendix 1. One of the key development strategies associated with that phasing plan is the development of a suitable screening berm along north and east portions of the Project.

4.2 Soil Salvage

All topsoil and subsoil on site will be salvaged and used in the final reclamation. Topsoil and subsoil salvage will not occur under wet, frozen, adverse field conditions or high wind velocities that will result in mixing, loss, compaction or degradation of soil. Topsoil and subsoil will be salvaged a minimum of 10 m ahead of pit faces.

In some instances, topsoil and subsoil will be placed along the north and east development boundaries for use in creating screening berms. These stockpiles will be separated from each other with topsoil used to develop the south portion of the berm and browns used to develop the north portion of the berm. These screening berms will be vegetated as soon as possible and will be sloped 3:1 with a 3m top. Stockpile site locations will be prepared so that:

- Stockpiles are placed on stable ground,
- Stockpiles are placed in locations unaffected by pit activities,
- Stockpiles are stabilized to minimize erosion.

4.3 Subgrade

Placement of fill and rough grading will follow the contour plan shown in Appendix 1 Drawing No. 5: Cross Sections. Once subgrades are established, areas will be ripped and cross ripped to a depth of 0.3 meters to ensure decompaction of the subgrade. Ripping can help improve soil conditions by breaking up the surface of the overburden, increasing infiltration of surface water, and creating a better root zone.

4.4 Soils Placement

Once subgrades are established and de-compacted, subsoil and topsoil will be spread evenly.

4.5 Vegetation

Once topsoil has been evenly placed, the reclaimed areas will be re-vegetated to hayland using drill seeding at a rate no less than 22 kg/acre. Grass seed mixture will be 50% alfalfa, 35% meadow brome, 15% timothy. Once seeding is complete, a program of cutting and fertilizing will take place as necessary to ensure the hayland becomes established.

4.6 Inactive Pit Conservation & Reclamation Techniques

The pit will be clearly identified by signs that indicate danger and discourage trespassing. Slopes around structures and equipment will be stabilized and sloped no steeper than 3:1. During periods of inactivity of over six months, pit faces will be sloped no steeper than 2:1. Stockpiles will be vegetated, and the weeds will be sprayed and mowed. The site will be monitored to ensure soil reclamation material is stable, weeds are controlled, and the site is secure.

During periods of inactivity greater than six months, additional signage will be installed to further indicate danger and discourage trespassing. Slopes around structures and equipment will be stabilized and sloped no steeper than 3:1, pit faces will be sloped no steeper than 2:1, stockpiles will be seeded, and any weeds will be sprayed and/or mowed.

Once complete, the site will be monitored on a monthly basis to ensure soil reclamation material is stable, weeds are controlled, and the site is secure.

5.0 Conclusion

The BURNCO Nanton Pit has the potential to be a successful operation for many years. BURNCO would like to restart operation at this location and is seeking to obtain the permitted area of the pit and secure the long-term future of the facility. This report outlined how BURNCO would address the concerns that were expressed about the development of the project. It also presents the various studies that have been undertaken by independent professionals to look at the scientific data and determine the project impacts and prescribe mitigation measures.

This project presents a great opportunity for Willow Creek County and the people of Alberta in continuing to meet the growing demand for aggregates. These aggregates are critical in building our communities and maintaining our quality of life.

BURNCO is committed to the highest level of care and compliance in all our developments. It is BURNCO's belief that by following the Project Activities Plan for the lands associated with the proposed development, that BURNCO's Nanton Gravel Pit will be able to operate in a commercially successful and environmentally responsible manner for many years to come.

Appendix 1: Drawings



LEGEND:

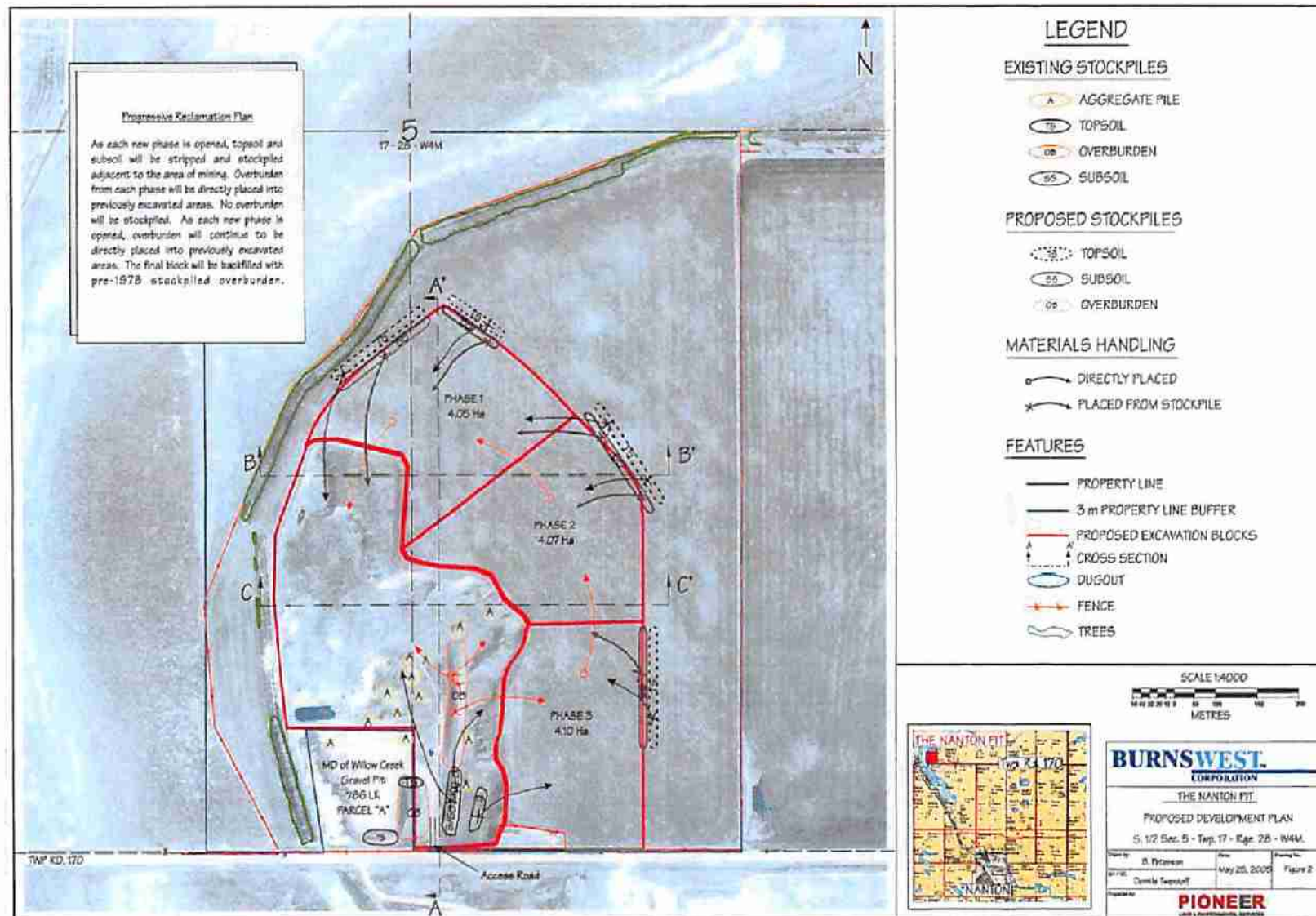
- ■ ■ ■ ■ Property Boundary and Proposed Rezoning Area- 51 ha (126 acres)
- Proposed Future Development Area - 20.82 ha (51.44 acres)
- Existing Disturbance - 8.60 ha (21.25 acres)
- Topsoil Pile ■ Subsoil Pile ■ Overburden Pile
- Proposed Haul Route
- Distance From Adjacent Features

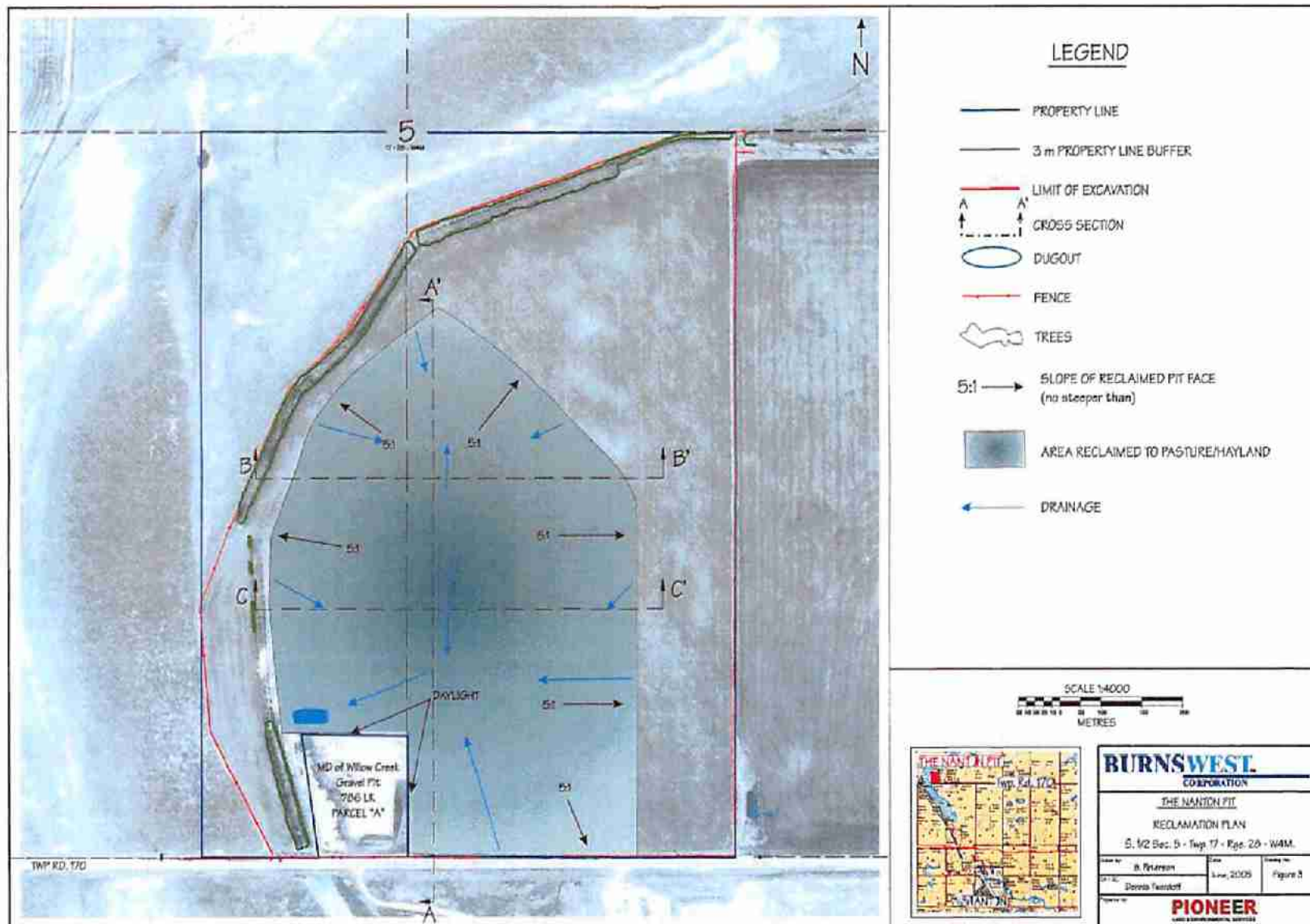
BURNCO Rock Products Ltd

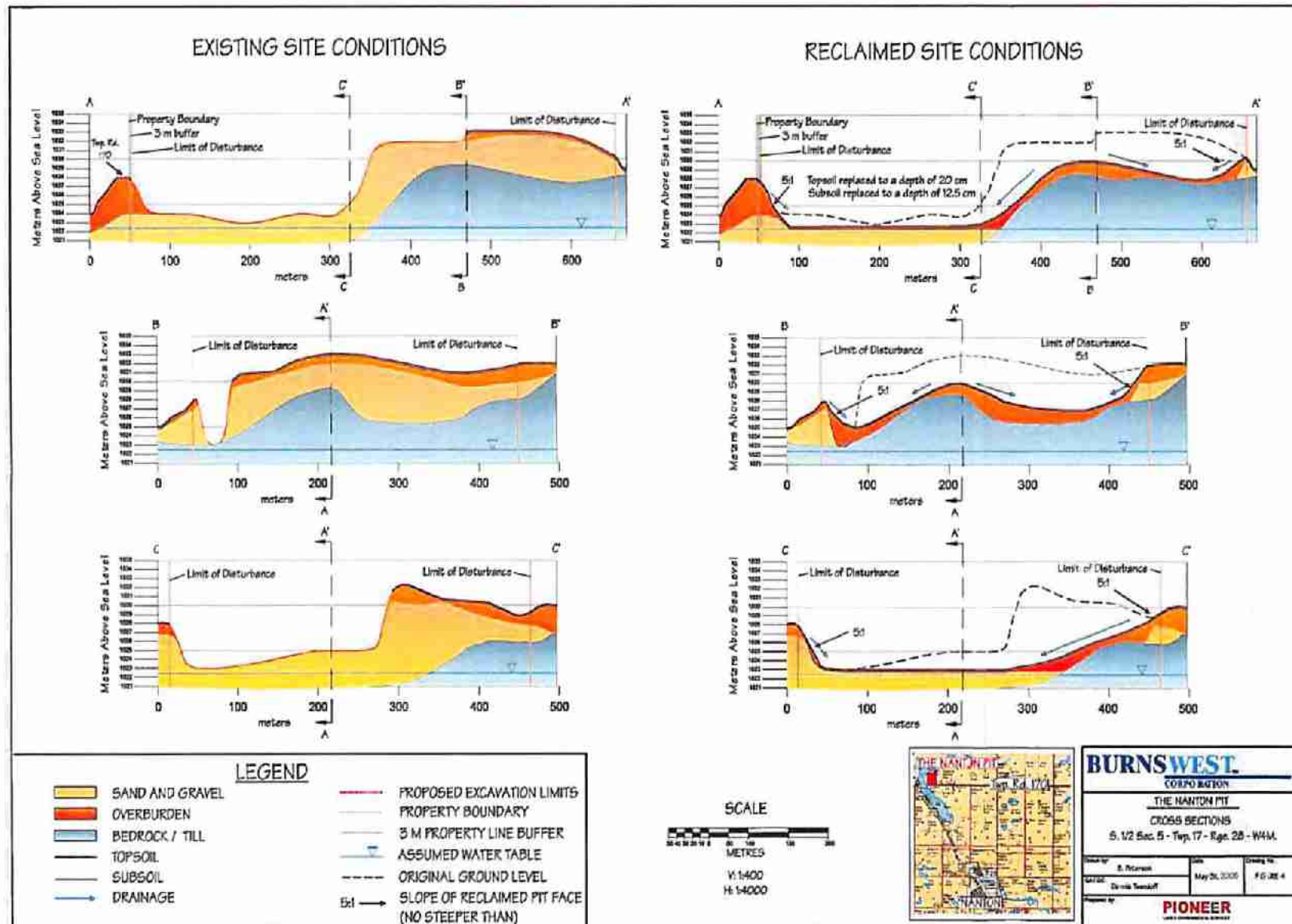
Nanton Pit
Site Plan

S 1/2 Sec 05-17-28 W4M

DATE DRAWN: FEB. 2020	SCALE: 1:5500	DRAWN BY: TT	DWG. NO. 1
DATE REVISED: FEB. 2020		CHECKED BY: TC	







Appendix 2: Application for Development Permit

THE MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26
Box 550, Claresholm, AB T0L 0T0
Phone (403) 625-3351 Fax (403) 625-3886 www.mdwillowcreek.com

FOR OFFICE USE ONLY

APPLICATION FOR A DEVELOPMENT PERMIT

IMPORTANT: This information may also be shared with appropriate government/other agencies (e.g. Alberta Agriculture, Food and Rural Development; Alberta Environment; the regional health authority), and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact The Municipal District of Willow Creek No. 26.

Application No. _____

Fees Submitted: \$ _____

Site Inspection: _____

Form A

APPLICANT: BURNCO Rock Products Ltd Telephone _____

ADDRESS: _____ Fax: _____

Bus/Cell: _____

REGISTERED OWNER: Tricvle Lane SAB Ltd. Telephone: _____

LEGAL DESCRIPTION: Lot(s) _____ Block _____ Plan _____

OR: Quarter S/2 Section 05 Township 17 Range 28 W 4 M

EXISTING USE: Inactive Gravel Pit and Cultivated Farm Land

PROPOSED USE: Gravel Extraction and Crushing and Farm Land

PARTICULARS OF PROPOSED DEVELOPMENT: BURNCO would like to mine the remaining reserve on the property. This mining will occur through a phased development, which includes progressive reclamation. This will allow for the adjacent land to be returned to pre-disturbance use more quickly. The total pit size disturbance area is 20.82 hectares. Please see the attached Development Permit Application package for detailed information.

Additional information or clarification can be helpful in processing the application without delay. You may wish to use the back of this form or attach a separate sheet with such information. **Please fill out the Right of Entry authorization on reverse.**

REGISTERED OWNER OR PERSON ACTING ON BEHALF OF:

I/we agree to the collection and sharing of this information contained in this application, and any other information may be required to verify and evaluate this application as explained above. I have submitted particulars concerning the completion of the proposed development and agree to comply in all respects with any conditions that may be attached to any development permit that is issued and with any other bylaws that are applicable. I am aware I may be required to pay for all local improvement costs, which include drainage, sidewalks, road construction, street lighting, water and sewer main extensions, utility connection fees and installation costs at the present established rate.

I have read and understand the terms noted on the reverse side of this form and hereby apply for permission to carry out the development described above and/or on the attached plans and specifications. I further certify the registered owner(s) of the land described above is aware of this application.

DATE: February 11th, 2020 SIGNED: _____

IMPORTANT: See Over

ADDITIONAL INFORMATION: _____

IMPORTANT:

1. Subject to the provisions of the Land Use Bylaw of The Municipal District of Willow Creek No. 26, the term "development" includes any change in the use of buildings or land.
2. Although the Development Officer is in a position to advise on the principle or details of any proposals, such advice must not be taken in any way as an official consent, and is without prejudice to the decision in connection with the formal application. It must be clearly understood any development by the applicant within 21 days after receipt of a Development Permit is at his own risk.
3. Please submit a plan or drawing showing locations of existing and proposed buildings, roads, services, boundaries, etc. in sufficient detail to ensure proper consideration of the application. Measurements may be metric or imperial units. It is desirable the plans and drawings should be on scale appropriate to the development, as follows:

Site plans – ratio of 1:1000 or 1:1500
Other drawings – ratio of 1:100 or 1:200

or as required by the Development Officer. However, unless otherwise stipulated, it is not necessary for plans and drawings to be professionally prepared.
4. If a decision is not made within 40 days from the date of the receipt of the application in its complete and final form, the applicant may exercise his right of appeal as though he had been mailed a refusal at the end of the 40-day period unless an agreement for a time extension has been entered into with the municipality.

RIGHT OF ENTRY:

I hereby authorize representatives of The Municipal District of Willow Creek No. 26 to enter my land for the purpose of conducting a site inspection in connection with this application.

This right is granted pursuant to Section 542(1) of the

DATE: FEB 11 2020

SIGNED: _____

Scott M. Burns
Registered Landowner(s)

Appendix 3: 2005 - Nanton Code of Practice

**Registration Application
Code of Practice for Pits
Sand and Gravel**

For
BURNSWEST Corporation

On
S ½ 5-17-28-W4M
The Nanton Pit

Prepared By:

**Pioneer Land and Environmental Services
(a division of Pioneer Land Services Ltd.)**

Jeremy Church, B.Sc.
Environmental Scientist

Dennis Twerdoff, M.Sc., P.Geo., P.Ag.
Project Manager

July 8, 2005

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List of Appendices

Appendix 1	Conservation and Reclamation Plans
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SCHEDULE 1

REGISTRATION INFORMATION

Date: June 21, 2005

Previous *Environmental Protection and Enhancement Act* Approval Number:
SG-55-85 (16030-01-00)

Water Act authorization required? ☐ Yes ☒ No

If Yes, _____ or current Water Act authorization Number: _____

Name of Applicant (company or person in whose name the pit will be registered):

BURNSWEST Corporation

Address: 106, 155 Glendee Circle S.E.
Calgary, AB T2H 2S8

Phone: (403) 255-3042

Facsimile: (403) 410-7176

e-mail: Jeff.Burns@burnswest.com

Name of Person Submitting Application: Erwin Spletzer

Company Name: BURNCO Rock Products

Job Title: Property Manager

Address: 200, 155 Glendee Circle S.E.
Box 1480 Station T, Calgary, AB T2H 2P9

Phone: (403) 255-2600

Facsimile: (403) 255-0323

e-mail: Erwin.Spletzer@burnco.com

Signature: _____

Registration Application
Code of Practice for Pits
S ½ 5-17-28-W4M

BURNSWEST Corporation
The Nanton Pit

Name of Primary Contact for Pit: Jeff Burns

Job Title: Manager

Address: 106, 155 Glendeer Circle S.E.
Calgary, AB T2H 2S8

Phone: (403) 255-3042 Facsimile: (403) 410-7176

e-mail: Jeff.Burns@burnswest.com

Pit Location Municipal Address or 1/4-Sec-Twp-Rge-Mer	Registered Owners Name, Address and Phone Number	Occupants Name, Address and Phone Number
S ½ 5-17-28-W4M	BURNSWEST Corporation 106, 155 Glendeer Circle S.E. Calgary, AB, T2H 2S8 (403) 255-2600	None

SCHEDULE 2 ACTIVITIES PLAN

Part 1 Information

1.1 Aggregate Type

- Sand and Gravel.

1.1.1 Current Size of Pit

- 8.60 ha

1.2 Average Thickness

- Topsoil: 0.20 m
- Subsoil: 0.12 m
- Overburden: 1.35 m
- Aggregate 5.80 m

1.2.1 Soil Series

- Orthic Black Chernozem.¹
 - Rockyview-Lyalta series.

1.2.2 Overburden and Aggregate

- Overburden Volume: 281,070 m³
- Aggregate Volume: 1,207,560 m³

*Based on a proposed total pit size of 20.82 ha.

1.3 Topsoil Texture

- Silt loam.
 - Very rocky with poor vegetation growth.
 - Estimated rock/gravel content of 30%.
(Photo 1, Appendix 2)

1.4 Erosion and Dust Control Techniques

Erosion Control:

- During construction and operation, physical barriers such as straw bales and silt fences will be utilized to minimize erosion when necessary.
- All drainage will be directed into the excavation.

Stockpiles:

- Will be separated from each other by at least 3 m, they will be vegetated and shallow sloped.
- Stockpile site locations will be prepared so that:
 - stockpiles are placed on stable ground;
 - topsoil stockpiles are placed on topsoil in locations unaffected by pit activities;
 - subsoil stockpiles are placed on subsoil in locations unaffected by pit activities;
 - overburden stockpiles are placed on overburden in locations unaffected by pit activities;
 - reject material are placed in areas where topsoil has been stripped; and
 - topsoil stockpiles are stabilized to minimize erosion.
- Topsoil salvage will not occur under wet, frozen, adverse field conditions or high wind velocities that will result in admixing, loss, compaction or degradation of topsoil.
- The following observations were made during the pit inspection and suggest the topsoil and subsoil may have been salvaged together during previous excavations:
 - The very old stockpiles (pre-1978) appeared to be mixed topsoil and subsoil.
 - The large overburden stockpile northwest of the access gate appeared to have topsoil piled on the north side.
- Topsoil will be salvaged a minimum of 10 m ahead of pit faces.

Dust Control:

- If necessary, water will be sprayed on the crusher.
- During dry periods, the pit and access roads will be watered down. A surface amendment material will be used on the access road if necessary.

1.5 Air Monitoring Initiatives

- No air monitoring is planned for this area.

1.6 Inactive Pit Conservation & Reclamation Techniques

- The pit will be clearly identified by signs that indicate danger and discourage trespassing.
- Slopes around structures and equipment will be stabilized and sloped no steeper than 3:1.
- During periods of inactivity of over 3 months, pit faces will be sloped no steeper than 2:1.
- Stockpiles will be vegetated.
- Weeds will be sprayed and mowed.
- The site will be monitored bi-annually to ensure soil reclamation material is stable, weeds are controlled and the site is secure.

1.7, 1.8 Scale Drawings (Existing, Operational & Reclaimed conditions)

- See attached Conservation and Reclamation Plans (Appendix 1).

Part 2 Information

1.9 Maximum Pit Size

- 20.82 ha

1.10 Depth to Groundwater

- Approximately 10 m below original ground surface.

1.11 Pit Activities

- Dry pit excavations.
- Crushing and screening.
- Possible asphalt plant.

1.11.1 Wet Pit Excavations

- No wet pit excavations will occur.

1.11.2 Salt Mixing, Asphalt Mixing, Truck Box Spraying

- No salt mixing will occur.
- A portable asphalt plant may be located on the site.
- Truck box spraying may occur.
 - If spraying does occur, it will be conducted in designated areas (See section 1.12).
- Bulk fuel may be stored on the site in above ground storage tanks.

1.11.3 Aggregate Washing

- No washing will occur on site.

1.11.4 Use of Alternative Reclamation Material

- No alternative materials will be used for reclamation.

1.12 Mitigative Measures

Crushing and Screening:

- Crusher will be located within pit to minimize noise and reduce visual impact.
- Crushing and screening equipment will be sprayed with water and cleaned weekly to control dust.

Asphalt Mixing and Truck Box Spraying:

- Asphalt mixing and truck box spraying will occur in designated areas.
- Designated areas will be prepared so that:
 - topsoil has been stripped and stockpiled; and
 - the base is composed of a low permeability material (ie. $< 10^{-6}$ cm/s), a compacted clay liner, or an engineered liner.
- Any diesel impacted material will be salvaged and disposed of in an appropriate waste management facility.
- These activities will occur at least 100 m from Silver Lake.

Bulk Fuel Storage:

- All fuel storage sites will be constructed in a manner that follows the *Guidelines for Secondary Containment for Above Ground Storage Tanks*, Alberta Environmental Protection, May, 1997².
- Any bulk fuel storage will be located upland away from Silver Lake in a designated service area.
- A bermed imperviously lined area, or other form of secondary containment, will surround fuel tanks with a minimum 110% holding capacity of the largest tank's capacity.
- All machinery maintenance supplies will be kept in a designated storage facility.

Spills:

- Any spills within or beyond the bermed area of the above ground storage tanks will be cleaned immediately using various techniques including diking and containing. Spills will be collected using sorbent pads and vacuum trucks.
- All spills and waste material will be collected immediately and disposed of at an approved waste management facility.
- If pit operations interfere with the immediate spill response, pit operations will be suspended until complete cleanup occurs.

Water Management:

- All drainage will be directed to low points within the pit toward the existing dugout.
- Pit operations will not divert, block or impound the natural surface or subsurface drainage.
- Existing dugout on site, expect landowner to signoff as surface improvement (Photo 7, Appendix 2).

1.13 Proposed Reclaimed Pit Land Uses

Hayland and Pasture: 100%

1.13.1 Agricultural Lands

CLI Soil Capability for Agriculture³:

- $2^7\tau 3^2\tau 4^1_w$ – A complex area rated for non irrigated farming as Class 2 with topographic limitations, Class 3 with topographic limitations and Class 4 with excess water limitations. Based on a site visit, the soil capability for agriculture is less than class $2^7\tau$. The topsoil on the site is thin, only 15-20 cm thick and there is gravel to the surface (Photos 2,5, Appendix 2).
- The end landuse will be hayland.
- All slopes will be reclaimed to 5:1.

1.14 Release of Pit Water

- No pit water is expected since excavations will be dry pit excavations, therefore there is no need to release pit water.

1.15 Soil Replacement Depth

Topsoil:

- All available topsoil will be used for reclamation. Topsoil will be replaced to a depth of 0.20 m.
- Prior to replacing reclamation material, stockpiles should be sampled to identify areas of potential unknown topsoil.

Subsoil:

- Subsoil will be replaced to a depth of 0.12 m.

1.16 Scale Drawings of Site Conditions After Reclamation

- See attached Conservation and Reclamation Plans (Appendix 1).

1.17 Cross-Section Drawing of Site Conditions After Reclamation

- See attached Conservation and Reclamation Plans (Appendix 1).

1.18 Surface Water Bodies in Reclaimed Landscape

- Existing dugout
 - Approximate size: 554.8 m² (Photo 7, Appendix 2)
- Area surrounding water body will be sloped 5:1 for a vertical distance of one meter above and one meter below the full supply level.

Additional Information

Excavation:

- Average depth of excavation including removal of topsoil, subsoil, overburden and aggregate: 7.47 m
- Life expectancy of pit: 20+ years.
- Equipment used for moving topsoil: dozer, excavator, grader, articulated rock truck, scraper/buggy, and front-end loader.

Boundaries:

- Property boundaries are fenced.
- Extraction setbacks may be required if overburden and reject material is not sufficient to meet reclamation needs.

CLI Soil Capability for Agriculture:

- 2_r3_r4_w
- Proposed slopes are 5:1 along all pit faces to maintain equivalent land use capability.

Revegetation:

- Seed mixture as per landowner's request.

Signature:

Signature: _____ Date: _____

Jeff Burns, BURNSWEST Corporation

SCHEDULE 3 SECURITY ESTIMATE

Full-Cost Security

Area Currently Secured

- The area of land secured at \$250/acre
 - Area disturbed pre 1978 – 17.77 acres x \$0/acre = \$0.00 (No security)
 - Area disturbed post 1978 – 3.48 acres x \$250/acre = \$870.00

Area of Disturbance

- The maximum area of disturbance on average at any one time: 4.1 ha
- Topsoil and subsoil will be stockpiled. Excavated overburden will be directly placed into previously excavated areas (Drawing 1, Appendix 1).

Reclamation Costs

Equipment List

- Buggy – Move Material.
- Cat – Smoothing and Contouring.

Unit Operating Costs

- \$1.35/m³ (Appendix 3).

Volume of Material

- Topsoil = 8,200 m³
- Subsoil = 4,920 m³

Cost to Move Topsoil

- Cost to move topsoil from 2 blocks (Appendix 3).
 - 8,200 m³ x \$1.35/m³ = \$11,070.00

Cost to Move Subsoil

- Cost to move subsoil from 2 blocks (Appendix 3).
 - 4,920 m³ x \$1.35/m³ = \$6,642.00

Cost of Landscaping

- The unit cost of landscape grading prior to replacing topsoil.
 - Cut vertical pit faces before/during overburden placement for a 7.47 m deep excavation.
 - 1 day/ha x 4 ha x \$1250/day = \$5,000

Seed Bed Preparation

- Unit cost for seedbed preparation.
 - \$580/ha x 4 ha = \$2,320

Cost of Seeding

- Unit cost for seeding.
 - \$250/ha x 4 ha = \$1,000.00

Cost of Removing Infrastructure

- Remove fence and gate = \$671 (Appendix 3).

Management Costs

- Management of reclamation activities = \$500.

Total Cost of Reclamation

Area Currently Secured	\$870.00
Moving Topsoil	\$11,070.00
Moving Subsoil	\$6,642.00
Recontouring	\$5,000.00
Seedbed Preparation	\$2,320.00
Seeding	\$1,000.00
Infrastructure Removal	\$671.00
<u>Project Management</u>	<u>\$500.00</u>
Total	\$28,073.00

Form of Security

- Letter of Credit.

Sources for Cost Estimate

Materials handling

- Based on BURNSWEST's earth moving estimates.

Costs for seed bed preparation:

- Bob Willows, as pers. comm., February 2005, Xtreme Excavation, Winfield AB.

Cost estimate prepared by Dennis Twerdoff, P.Geol., P.Ag., Pioneer Land and Environmental Services, Calgary, AB.

References

1. Walker, B.D., Pettapiece. 1996. Soils of the Gleichen area, 82I/SW. Agriculture and Agri-Food Canada, Centre for Land and Biological Resources Research, Edmonton, AB. Alberta Soil Survey Report 82I-SW. CLBRR Contrib. No. 96-14. 24pp. + map.
2. Alberta Environmental Protection, Industrial Waste and Wastewater Branch. Guidelines for Secondary Containment for Above Ground Storage Tanks. May 16, 1997.
3. Agricultural and Rural Development Act. 1968. Canada Land Inventory: Soil Capability for Agriculture, Gleichen 82 I. Queen's Printer and Controller of Stationery, Ottawa, Canada.

Appendix 1

Conservation and Reclamation Plans



LEGEND

- Property Line
- Limit of Excavation
- Pre-1978 Excavation
- ... Post-1978 Excavation
- A A' Cross Section
- Dugout
- Fence
- Trees

DRAFT

SCALE 1:4000
METRES



BURNSWEST.
CORPORATION

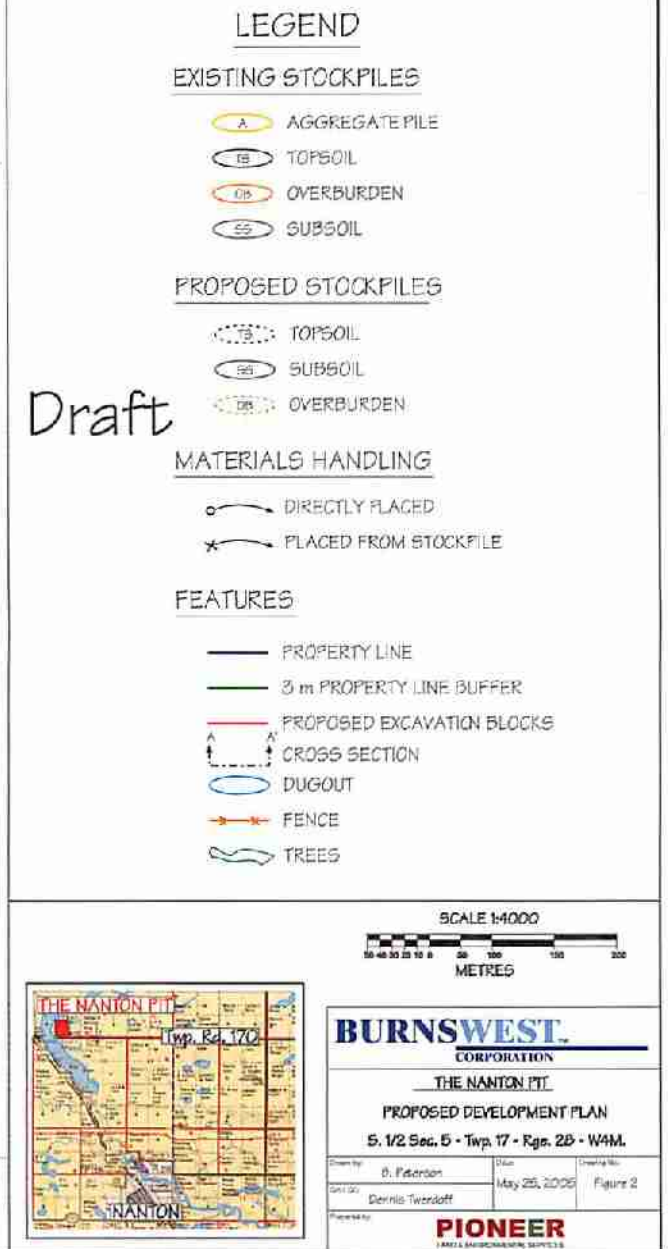
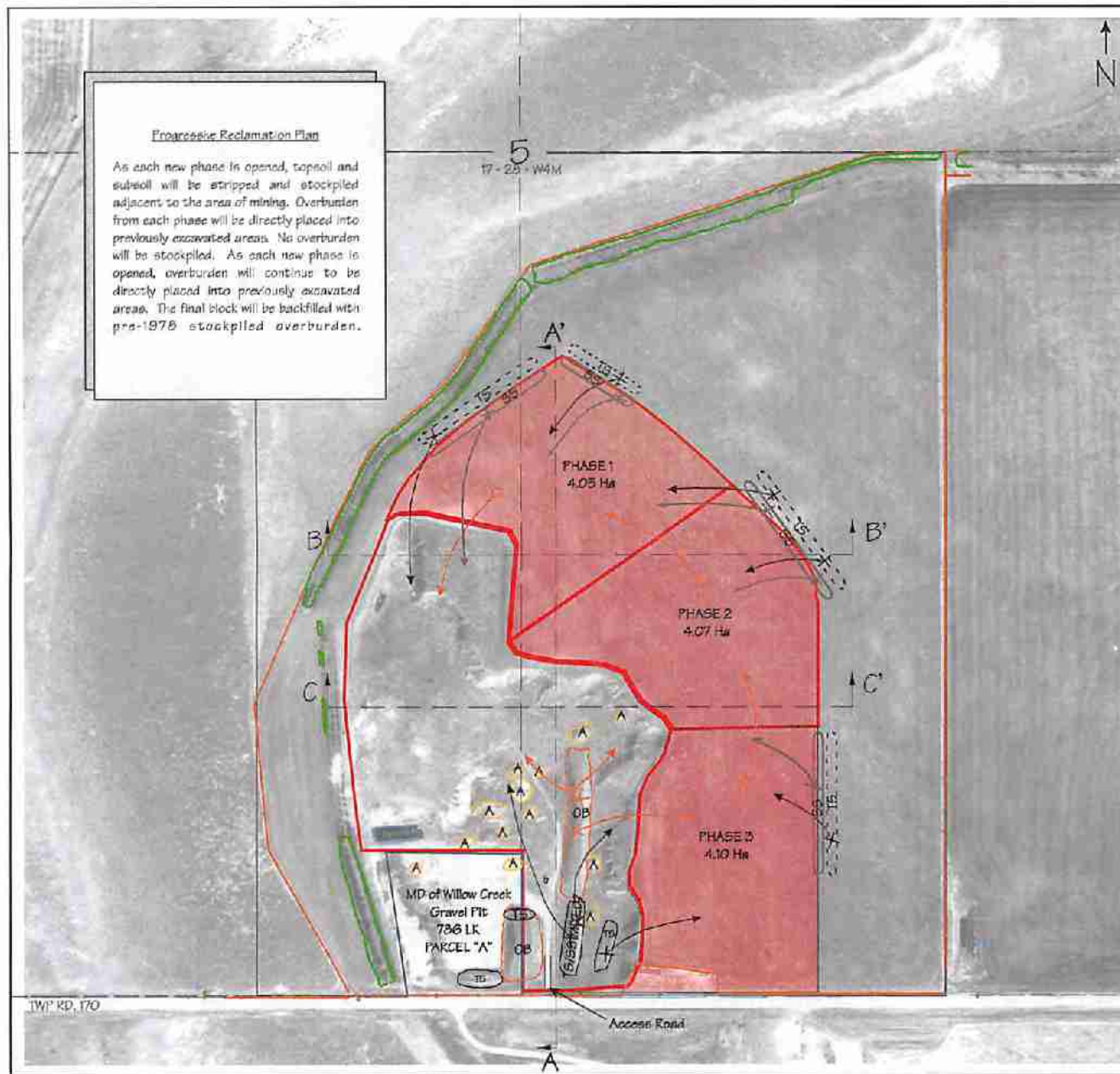
THE NANTON PIT

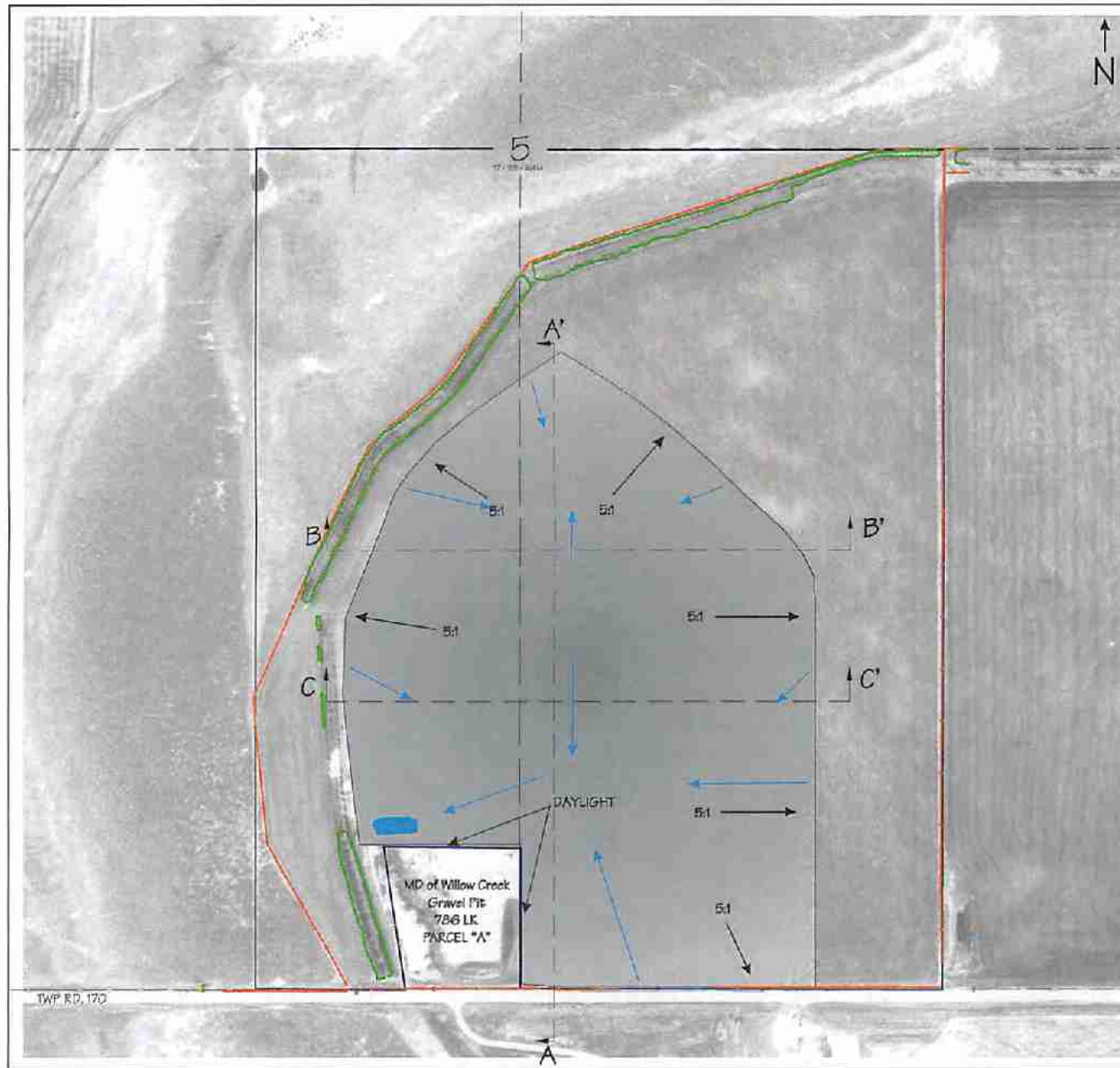
TOPOGRAPHY AND EXISTING DISTURBANCE

5. 1/2 Sec. 5 - Twp. 17 - Rge. 28 - W4M.

Prepared by: B. Peterson	Editor: J. Mc. 2/22/25	Drawing No.: Figure 1
Checked by: Dennis Twardoff		

PIONEER
LAND & CONSTRUCTION SERVICES





- LEGEND**
- PROPERTY LINE
 - 3 m PROPERTY LINE BUFFER
 - LIMIT OF EXCAVATION
 - A A' CROSS SECTION
 - DUGOUT
 - FENCE
 - TREES
 - 5:1 → SLOPE OF RECLAIMED PIT FACE (no steeper than)
 - AREA RECLAIMED TO PASTURE/HAYLAND
 - ← DRAINAGE

SCALE 1:4000
0 50 100 150 200
METRES



BURNSWEST CORPORATION

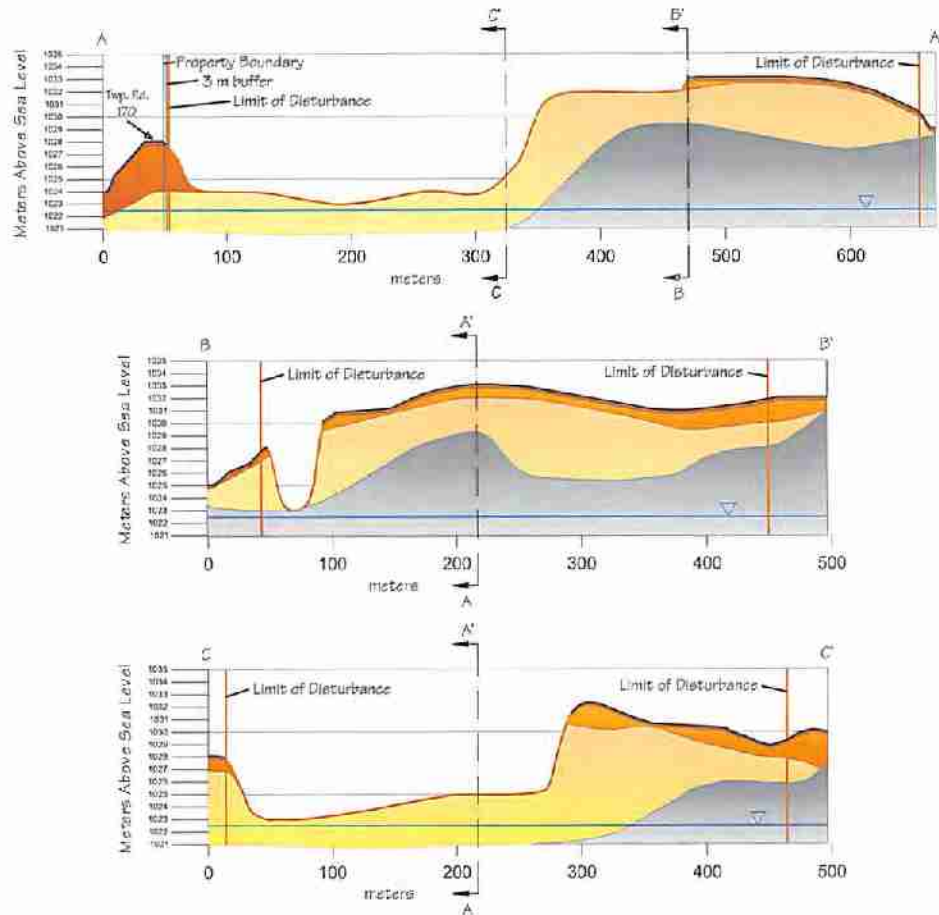
THE NANTON PIT

RECLAMATION PLAN

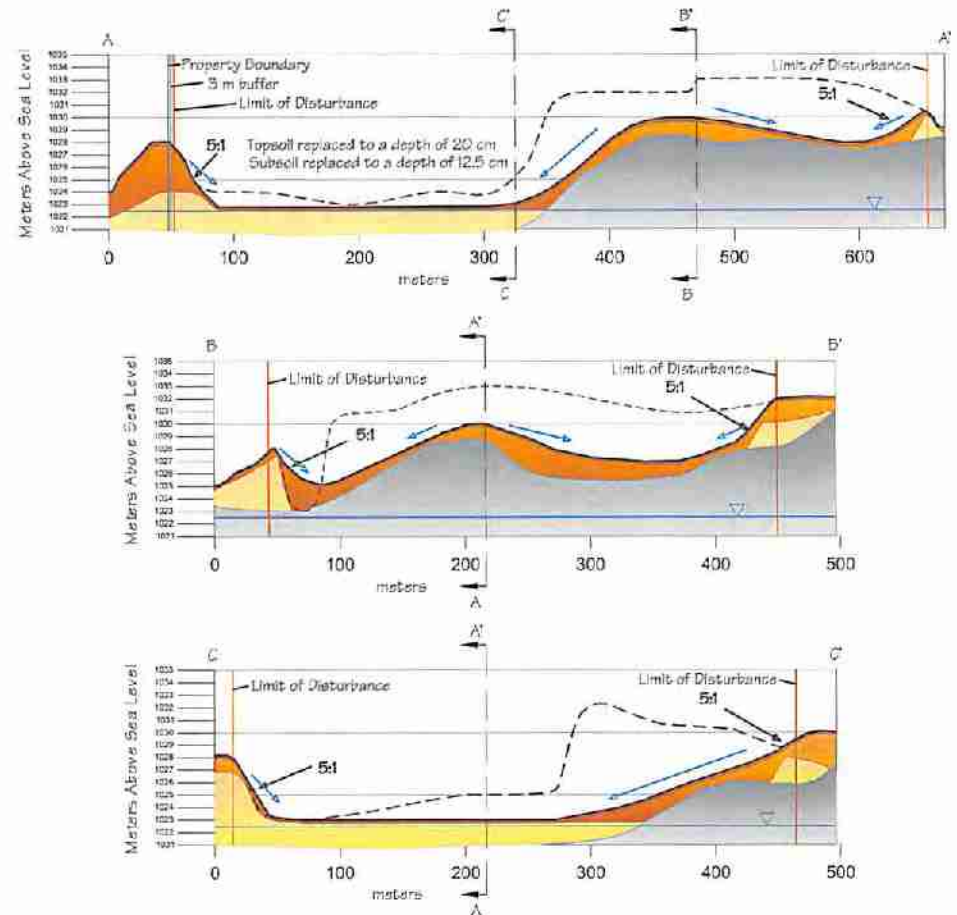
S. 1/2 Sec. 5 - Twp. 17 - Rge. 2B - W4M.

Drawn by: B. Peterson	Scale: June, 2005	Sheeting No.: Figure 3
Check by: Dennis Twardoziak		
<p>PIONEER Land & Environmental Services Ltd.</p>		

EXISTING SITE CONDITIONS

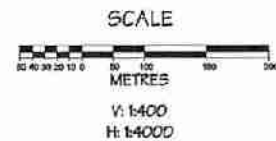


RECLAIMED SITE CONDITIONS



LEGEND

- | | |
|-----------------|---|
| SAND AND GRAVEL | PROPOSED EXCAVATION LIMITS |
| OVERBURDEN | PROPERTY BOUNDARY |
| BEDROCK / TILL | 3 M PROPERTY LINE BUFFER |
| TOPSOIL | ASSUMED WATER TABLE |
| SUBSOIL | ORIGINAL GROUND LEVEL |
| DRAINAGE | 5:1 SLOPE OF RECLAIMED PIT FACE (NO STEEPER THAN) |



BURNSWEST CORPORATION		
THE NANTON PIT		
CROSS SECTIONS		
S. 1/2 Sec. 5 - Twp. 17 - Rge. 20 - W4M.		
Drawn by: D. Branson	Date: May 24, 2005	Figure No. FIGURE 2
Checked: Denise Swartz		
Prepared by: PIONEER LAND DEVELOPMENT SERVICES		

Appendix 2 Site Photos

BURNSWEST Corporation
The Nanton Pit
S ½ 5-17-28-W4M

Photo Supplement



Photo 1: Poor vegetation with bare patches on undisturbed areas.



Photo 2: Topsoil depth on undisturbed areas (approx 20 cm).

BURNSWEST Corporation
The Nanton Pit
S ½ 5-17-28-W4M

Photo Supplement



Photo 3: Looking south from northern edge of excavation.



Photo 4: Looking at western edge of excavation.

BURNSWEST Corporation
The Nanton Pit
S ½ 5-17-28-W4M

Photo Supplement



Photo 5: Looking at topsoil depth at northern pit face (approx. 20 cm).



Photo 6: Looking south at partially reclaimed slope.

**BURNSWEST Corporation
The Nanton Pit
S ½ 5-17-28-W4M**

Photo Supplement



Photo 7: Looking southeast at existing dugout within excavated area.



Appendix 3

Land Title



ALBERTA REGISTRIES
LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0017 632 969 4;28;17;5;SW,SE 173R240

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 17
SECTION 5
THE WEST HALF OF THE SOUTH EAST QUARTER AND THE EASTERLY
825 FEET OF THE SOUTH WEST QUARTER CONTAINING 52.6 HECTARES
(130 ACRES) MORE OR LESS
EXCEPTING OUT OF THE SOUTH WEST QUARTER
PLAN NUMBER HECTARES ACRES MORE OR LESS
GRAVEL PIT SITE 786LK 1.62 4.00
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
173R240	04/10/1972			

OWNERS

BURNSWEST CORPORATION.

(DATA UPDATED BY: CHANGE OF NAME 961023440)

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION	DATE (D/M/Y)	PARTICULARS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
173R240

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
4348LO	27/09/1972	CAVEAT CAVEATOR - THE OLDMAN RIVER REGIONAL PLANNING COMMISSION. DEFERRED RESERVE CAVEAT

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED
HEREIN THIS 26 DAY OF MAY, 2005 AT 09:44 A.M.

ORDER NUMBER:2791014

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE
SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS
SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR
OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL
PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR
THE BENEFIT OF CLIENT(S).



ALBERTA REGISTRIES
LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0030 246 409 4;28;17;5;SW 031 428 877 +2

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 17
SECTION 5
QUARTER SOUTH WEST
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

A) PLAN	NUMBER	HECTARES	(ACRES)	MORE OR LESS
PARCEL	5071DR	0.344	0.85	
ROAD	0313486	1.268	3.13	

B) THE EASTERLY 825 FEET IN PERPENDICULAR
WIDTH THROUGHOUT OF SAID QUARTER SECTION
CONTAINING 20.2 HECTARES (50 ACRES) MORE OR LESS
EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

REFERENCE NUMBER: 031 072 341

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
031 428 877	10/12/2003	ROAD PLAN		

OWNERS

2L FARMS LTD..

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
031 428 877 +2

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
2798EA .	30/10/1928	UTILITY RIGHT OF WAY GRANTEE - FORTISALBERTA INC.. 320-17 AVE SW CALGARY ALBERTA T2S2V1 "E. 30 FT OF S. 25 FT. OF W. 1015 FT. DATA UPDATED BY: TRANSFER OF UTRW NO. 1333FR" (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 001289653) (DATA UPDATED BY: CHANGE OF NAME 041479489)
751 042 251	08/05/1975	UTILITY RIGHT OF WAY GRANTEE - ALBERTA GOVERNMENT TELEPHONES. "16 1/2 FT. STRIP IN UNIFORM WIDTH THROUGHOUT PARALLEL & ADJACENT TO THE NORTH EAST EASTERLY LIMIT OF RAILWAY PLAN RY8"
751 074 675	18/07/1975	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. AS TO PORTION OR PLAN:7510558 "30 FT. STRIP"
811 042 702	10/03/1981	CAVEAT RE : RESTRICTIVE COVENANT CAVEATOR - THE OLDMAN RIVER REGIONAL PLANNING COMMISSION. 905-4TH AVENUE, SOUTH, LETHBRIDGE ALBERTA
011 201 845	19/07/2001	

(CONTINUED)

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED
HEREIN THIS 26 DAY OF MAY, 2005 AT 09:44 A.M.

ORDER NUMBER:2791004

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE
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PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR
THE BENEFIT OF CLIENT(S).



ALBERTA REGISTRIES
LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0030 246 219 4;28;17;5;SW 041 368 476

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 17
SECTION 5
THAT PORTION OF THE SOUTH WEST QUARTER
WHICH LIES WITHIN THE PARCEL ON PLAN 5071DR
CONTAINING 0.344 HECTARES (0.85 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	(ACRES)	MORE OR LESS
ROAD	0313478	0.023	0.06	

EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FREE SIMPLE

MUNICIPALITY: MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

REFERENCE NUMBER: 031 428 509 +4

REGISTERED OWNER(S)					
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
041 368 476	27/09/2004	TRANSFER OF LAND			

OWNERS

KIRK MOORE GREASLEY

AND

ADELE MARYLYN GREASLEY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
041 368 476

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

NO REGISTRATIONS

TOTAL INSTRUMENTS: 000

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED
HEREIN THIS 26 DAY OF MAY, 2005 AT 09:44 A.M.

ORDER NUMBER:2791009

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

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THE BENEFIT OF CLIENT(S).



ALBERTA REGISTRIES
LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0026 591 736 4;28;17;5;SE 961 136 951

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 17
SECTION 5
THE EAST HALF OF THE SOUTH EAST QUARTER
CONTAINING 32.4 HECTARES (80 ACRES) MORE OR LESS
EXCEPTING THEREOUT:
PLAN NUMBER HECTARES ACRES (MORE OR LESS)
SUBDIVISION 9512757 4.05 10.00
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

REFERENCE NUMBER: 951 270 871 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
961 136 951	21/06/1996	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

LLIZABET K DWYOR

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION	DATE (D/M/Y)	PARTICULARS
041 392 950	15/10/2004	UTILITY RIGHT OF WAY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
961 136 951

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

GRANTEE - ATCO GAS AND PIPELINES LTD.,

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE
REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED
HEREIN THIS 26 DAY OF MAY, 2005 AT 09:43 A.M.

ORDER NUMBER:2790985

CUSTOMER FILE NUMBER:



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PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR
THE BENEFIT OF CLIENT(S).

Appendix 4: 2017 - Nanton Alberta Environment Approval Letter

File: 004-16030

October 27, 2017

Burnswest Corporation
Suite 106
155 Glendeer Circle SE
Calgary, AB
T2H 2S8

Dear Mr. Sullivan:

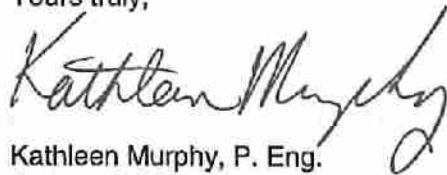
Subject: 5 Year Report
Registration No. 16030-02-00
Nanton Pit, S½ 05-017-28 W4M

Thank you for submitting the 5 Year Report (Schedule 4 – Part 1) for the above mentioned pit. The report has been reviewed and the security has been updated.

The next 5 year update (Schedule 4) will be required in October of 2020. Please note, any changes to the activities plan must be submitted to Environment and Parks for authorization prior to commencement.

If you have any questions, please call Meghan Nannt at (403) 388-3198 or email Meghan.Nannt@gov.ab.ca.

Yours truly,



Kathleen Murphy, P. Eng.
Approvals Manager

cc: Regulatory Approvals Center (RAC)

Appendix 5: Land Title



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0017 632 969 4;28;17;5;SW,SE 181 088 967

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 17
SECTION 5
THE WEST HALF OF THE SOUTH EAST QUARTER AND THE EASTERLY
825 FEET OF THE SOUTH WEST QUARTER CONTAINING 52.6 HECTARES
(130 ACRES) MORE OR LESS

EXCEPTING OUT OF THE SOUTH WEST QUARTER

PLAN	NUMBER	HECTARES	ACRES MORE OR LESS
GRAVEL PIT SITE	786LK	1.62	4.00

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26

REFERENCE NUMBER: 173R240

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
181 088 967	02/05/2018	TRANSFER OF LAND	\$915,000	SEE INSTRUMENT

OWNERS

TRICYCLE LANE SAB LTD.

(DATA UPDATED BY: CHANGE OF ADDRESS 181262279)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
4348LO	27/09/1972	CAVEAT CAVEATOR - THE OLDMAN RIVER REGIONAL PLANNING COMMISSION.

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
181 088 967

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

DEFERRED RESERVE CAVEAT

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 11 DAY OF
FEBRUARY, 2020 AT 09:24 A.M.

ORDER NUMBER: 38801555

CUSTOMER FILE NUMBER: 19531-6285



END OF CERTIFICATE

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PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Appendix 6: Landowner Consent Letter

**MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26
IN THE PROVINCE OF ALBERTA
BYLAW NO. 1860**

BEING a bylaw of The Municipal District of Willow Creek No. 26 in the Province of Alberta, to amend Bylaw No. 1826, being the Land Use Bylaw;

WHEREAS the Municipal District Council is in receipt of an "Application for a Land Use Bylaw Amendment" to redesignate approximately 51 hectares (126 acres), of land within the municipality, as per the enclosed map (Schedule A), of the lands legally described as:

MERIDIAN 4 RANGE 28 TOWNSHIP 17
SECTION 5
THE WEST HALF OF THE SOUTH EAST QUARTER AND THE EASTERLY
825 FEET OF THE SOUTH WEST QUARTER CONTAINING 52.6 HECTARES
(130 ACRES) MORE OR LESS
EXCEPTING OUT OF THE SOUTH WEST QUARTER

PLAN	NUMBER	HECTARES	ACRES MORE OR LESS
GRAVEL PIT SITE	786LK	1.62	4.00

EXCEPTING THEREOUT ALL MINES AND MINERALS

AND WHEREAS it is deemed expedient for the Council of the Municipal District to consider **Bylaw 1860** to redesignate approximately 51 hectares (126 acres), of the lands from "Rural General - RG" to "Rural Industrial - RI";

NOW THEREFORE, under the authority and subject to the provisions of the Municipal Government Act, Chapter M-26, 2000, as amended, the Council of the Municipal District of Willow Creek No. 26 duly assembled does hereby enact the following:

- 1. Lands, illustrated on the map in Schedule 'A' and legally described above, shall be redesignated from 'Rural General – RG' to 'Rural Industrial –RI'
- 2. The Land Use District Map shall be amended to reflect this redesignation.
- 3. Land Use Bylaw No. 1826 is hereby amended.
- 4. This bylaw shall come into effect upon third and final reading thereof.

READ a **first** time this 11th day of March, 2020.

<u>Reeve – Maryanne Sandberg</u>	<u>Municipal Administrator/CAO – Derrick Krizsan</u>
----------------------------------	--

READ a **second** time this 11th day of March, 2020.

<u>Reeve – Maryanne Sandberg</u>	<u>Municipal Administrator/CAO – Derrick Krizsan</u>
----------------------------------	--

READ a **third** time and finally **PASSED** this 11th day of March, 2020.

<u>Reeve – Maryanne Sandberg</u>	<u>Municipal Administrator/CAO – Derrick Krizsan</u>
----------------------------------	--

CLASSIFIEDS

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Other



MD of Willow Creek NOTICE OF PUBLIC HEARING

THE MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26
IN THE PROVINCE OF ALBERTA

PROPOSED LAND USE BYLAW AMENDMENT

1:30 p.m., Wednesday, March 11, 2020

at

The Municipal District of Willow Creek No. 26, Council Chambers

PURSUANT to sections 230, 606, and 602 of the Municipal Government Act, Statutes of Alberta, Chapter M-26, 2000, as amended, the Council of the Municipal District of Willow Creek No. 26 in the Province of Alberta hereby gives notice of its intention to consider an application submitted by Burnco Rock Products Ltd. (Registered Owner: "Burnco Land SAB Ltd.") to amend Bylaw No. 1860, being the municipal Land Use Bylaw.

THE PURPOSE of the proposed land use bylaw amendment is to redesignate the following parcels of land:

- SE/SW 05-17-26-W04 125.00 acres

(as shown on the map in Schedule A), from "Rural General - RG" to "Rural Industrial - RI". The redesignation would accommodate a future development application for a proposed Class 1 resource extraction (gravel pit operation).



THEREFORE, TAKE NOTICE THAT a public hearing to contemplate the proposed land use bylaw amendment will be held in the Municipal District of Willow Creek No. 26 Council Chambers at 1:30 p.m. on the 11th day of March, 2020.

AND FURTHER TAKE NOTICE THAT documents relating to this matter may be viewed on the Municipal District's website or inspected at the Municipal District Administration Office, 273129 Hwy 520 West, Claresholm, during normal business hours. Both written and/or verbal presentations may be given at the public hearing. Written submissions are to be forwarded to the Manager of Planning & Development Services at Box 550, Claresholm, Alberta, T0L 0T0 or via email at development@mdwillowcreek.com, no later than 4:00 p.m. on the 8th day of March, 2020. Any information submitted will become available to the public and is subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP).

DATED at the Town of Claresholm in the Province of Alberta this 25 day of February 2020.

Cindy Craisholm
Manager of Planning & Development
MD of Willow Creek No. 26



Town of Nanton
1907 21 Avenue, P.O. Box 609
Nanton, Alberta
T0L 1R0
P 403.646.2029 F 403.646.2653
nanton.ca

Job Opportunity - Pool Supervisor

Dated February 28, 2020

The Town of Nanton is seeking an experienced Pool Supervisor for the Tom Hornecker Recreation Centre, for the upcoming 2020 pool season. Reporting to the Supervisor of Parks & Facilities, this position plans, organizes and manages the delivery of aquatic programs. The candidate will be expected to train and supervise Junior and Senior Lifeguards, do scheduling, support volunteers and community groups in their involvement in aquatic programs, and ensure the clean, safe and efficient use of the pool facility. This position is a seasonal position that is required from early May to early September, 2020 and includes weekends and evenings.

Minimum Qualifications:

- National Lifeguard Certificate
- Pool Operator I (Level II desirable)
- Water Safety Instructor I (Level II desirable)
- Standard First Aid or A.E.C.
- Basic Rescue CPR
- A minimum of two (2) years of directly related experience in progressively more responsible positions within a municipal setting
- Must be cleared by a Canadian Police Information Centre security check

This position is recognized under the agreement between the Town of Nanton and the Canadian Union of Public Employees Local 37. The rate of pay is \$20.92/hr.

Cover letter and resume may be delivered to the town office, care of: Clayton Gillespie, Corporate Services Manager, mailed to P.O. Box 609, Nanton, Alberta T0L 1R0 or emailed to finance@nanton.ca.

The Town thanks all interested applicants however only those selected for an interview will be contacted. The competition will remain open until a suitable candidate is found. For a detailed job description please visit www.nanton.ca/jobs.



Answers for this weeks Sudoku Puzzle.

7	5	8	6	1	2	3	9	4
2	4	3	8	5	9	7	6	1
9	1	6	3	4	7	5	8	2
8	2	9	7	6	4	1	3	5
5	7	4	1	9	3	8	2	6
6	3	1	5	2	8	9	4	7
1	9	7	4	8	6	2	5	3
3	6	2	9	7	5	4	1	8
4	8	5	2	3	1	6	7	9

A	B	A	C	A	B	L	O	E	T	A	B	L		
B	A	S	E	L	E	R	T	A	I	N	S	B		
A	C	C	O	M	P	L	I	S	H	M	E	N	T	
S	H	I	T	O	T	B	I	L	E	R	S			
S	P	A	T				H	E	N	D	E	D		
A	T	A	R			L	A	N	E	P	A	T		
D	A	N	E			M	A	T	T	E	D	S		
P	M	T	R	E	N	D			Y	E	A	H		
P	A	R	E	N	T				S	A	N	S		
						O	S	H	A	P	A	C		
K	I	D	E	A		A	A	R		S	S	B		
C	O	N	F	I	O	E	N	T	I	A	L	I	T	Y
I	N	T	E	R	S	T			M	I	H	A	S	
R	A	F	D			N	C	E		A	B	E	C	S

Justice budget cuts not as deep as previously forecast

ALANNA SMITH

Victims of crime will receive added support from Alberta Justice under a UCP government budget that shakes up previous commitments.

The department was poised to cut the Victims of Crime Fund by 35 per cent over four years in its October budget, but Thursday's financial plan instead projects a 68 per cent increase.

"We want to improve the supports for victims, to ensure they get the kind of help they need, when they need it," said an Alberta Justice spokesperson, adding the department is reviewing its deliv-

ery of victim-support services.

Alberta is broadening the scope of the Victims of Crime Fund to include new public safety initiatives. Details on the revamped program, which will be service-based rather than one focused on financial benefits, will roll out in the coming months.

"Our government will work with local police, Crown and medical authorities, and other experienced front-line workers to improve victim-service delivery, victim-assistance funding and victim compensation to ensure there is optimal assistance to victims and survivors," said the spokesperson.

Alberta Justice declined to comment on why changes were made to the fund in comparison to the October budget.

The department's public security division, which oversees provincial contracts with the RCMP and Indigenous policing services, is forecast to see a bump in funding to \$552 million over four years dating back to 2019, despite an initial decrease.

A previously announced new police funding model is also accounted for in the 2020 budget, which will see small and rural communities pay a portion of front-line policing costs. They previously paid nothing.

ELEVATE
YOUR
EFFORT

CLASSIFIEDS
PLACE YOUR AD TODAY





RURAL INDUSTRIAL – RI

INTENT

The intent of this land use district is to accommodate isolated or grouped noxious, rural industrial, resource extraction or other compatible uses in the municipality without compromising the conservation of agricultural land for agricultural purposes, through the regulation of the following permitted and discretionary uses.

1. LAND USES

(1) Permitted Uses*

- Accessory buildings
- Accessory structures

(2) Discretionary Uses

- Airplane hangar
- Airport site or airstrip
- Alternative/renewable energy
- Auction facility
- Auction mart
- Automotive sales and service
- Batch plant
- Building supply center
- Car wash
- Commercial use
- Convenience store
- Employee housing
- Entertainment establishment
- Entertainment establishment, adult
- Family campground
- Financial institution
- Food service/catering
- Freight terminal
- Gaming or gambling establishment
- Grouped noxious industry
- Grouped rural industry
- Heavy industrial
- Heliport
- Helipad
- Highway commercial
- Hostel
- Hotel and motel
- Household repair service

* See Schedule 3, Development Not Requiring a Development Permit.



Incineration facility
Industrial equipment sales and rental
Industrial manufacturing
Industrial operation
Kennel - Category 1 and 2
Laundromat
Light industrial/manufacturing
Liquor store
Market garden
Mechanical and structural repair
Medical and dental office
Modular home sales and service
Moved-in building
Noxious industry
Office
Outdoor storage
Outdoor vehicle storage
Personal service
Public and private utility
Ready to move structure (RTM)
Recreational vehicle sales and rentals
Recreational vehicle storage
Residential accommodation in conjunction with an approved use
Resource extraction
Restaurant and lounge
Retail outlet
Rural industry
Sea can storage
Service station
Sign
Solar energy system, commercial/industrial
Sports club
Surveillance suite
Taxidermy
Tower
Travel agency
Truck sales and service
Truck stop
Truck transport depot
Truck wash
Vehicle service and repair
Warehouse
Warehousing
Warehouse store
Welding shop
Wind Energy Conversion System (WECS) - Category 1, 2 and 3



Workshop

(3) Prohibited Uses

Any use not found in Permitted or Discretionary, and not considered a similar use, shall be prohibited, unless the lands are redesignated to accommodate the development.

2. PARCEL AND LOT SIZES

(1) Extensive Agriculture

- (a) existing parcels; or
- (b) 64.75 ha (160 acres) or an unsubdivided quarter section.

(2) All Other Uses

- (a) existing parcels; or
- (b) minimum of 0.4 ha (1 acre).

3. MINIMUM SETBACK REQUIREMENTS

(1) Uses	Front Yard		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.
All uses	6.10	20	3.05	10	6.10	20
Fences	0	0	0	0	0	0

- (2) All buildings, structures and development other than extensive cultivation or grazing on parcels having frontage on a primary highway may have special requirements for setback, access and service roadways as determined by the Municipal Planning Commission in accordance with the requirements of Alberta Transportation.

- (3) All buildings, structures and development to be located in close proximity to an escarpment, coulee break, river bank or other geographical feature may have special requirements for setback as determined by the Municipal Planning Commission.

4. SITE COVERAGE

The maximum site coverage percentage on the parcel shall be determined by the Municipal Planning Commission.

5. DEVELOPMENT REFERRAL REQUIREMENTS

- (1) The Municipal Planning Commission may recommend to Council the designation of a rural industrial land use district.
- (2) Council or the designated officer shall refer any proposed designation of a rural industrial land use district to the municipality's planner for comment prior to making a decision.



- (3) The designated officer shall refer a proposed designation to rural industrial or a proposed industrial use located within 0.8 km (½ mile) of a designated highway to Alberta Transportation for comment prior to a decision being made.
- (4) An application for industrial use which is:
 - (a) adjacent to or within an environmentally significant area, critical wildlife zone, regionally sensitive area, riparian area or waterbody; or
 - (b) within 0.8 km (½ mile) of a primary highway, except within a designated hamlet;shall be referred by the designated officer to the municipality's planner for comment before the Municipal Planning Commission considers the application.

6. AREA STRUCTURE PLANS / CONCEPTUAL SCHEMES

The Municipal Planning Commission may require the preparation of an area structure plan or a conceptual scheme prior to considering an application or as a condition of approval for any use within this land use district.

7. GROUPED NOXIOUS INDUSTRY

- (1) Designation or development of an area for grouped noxious industry shall not be approved by Council or the Municipal Planning Commission if said area is:
 - (a) within a designated hamlet;
 - (b) less than 3.2 km (2 miles) from a town, village or designated hamlet;
 - (c) less than 1.6 km (1 mile) from a provincial, regional or municipal park or recreation area;
 - (d) less than 0.8 km (½ mile) from an existing or approved residence;
 - (e) less than 0.8 km (½ mile) from an existing or approved grouped country residential development;
 - (f) less than 0.8 km (½ mile) from either side of a designated highway, unless provided for in an area structure plan approved by Alberta Transportation;
 - (g) adjacent to an environmentally significant area, critical wildlife zone, regionally sensitive area, riparian area or a waterbody, unless the Municipal Planning Commission is satisfied suitable measures shall be undertaken to minimize any nuisance, hazard or noxious effect.
- (2) Applications for development expansion or for separate parcels in an area designated for grouped noxious industry may be approved or recommended for approval provided:
 - (a) the area of any proposed parcel is a minimum of 0.4 ha (1 acre);
 - (b) the proposed development or parcel shall be serviced to the satisfaction of the Municipal Planning Commission;
 - (c) the proposed use or operation will be developed in such a manner no run-off water can directly enter any waterbody, watercourse, groundwater, irrigation system or public roadway ditch;



- (d) there will be adequate provision for water treatment, temporary waste storage facilities and arrangements for waste disposal in accordance with standards set by the appropriate provincial departments and other approving authorities.

8. RURAL OR NOXIOUS INDUSTRY

The site of a rural or noxious industry may be approved for development, expansion or for approval as a separate parcel provided:

- (a) the area of the proposed parcel is a minimum of 0.4 ha (1 acre);
- (b) in the opinion of the Municipal Planning Commission the proposed location is suitable for and will be developed for the proposed use within a period of two years;
- (c) the proposed development or parcel will be serviced to the satisfaction of the Municipal Planning Commission;
- (d) the proposed use or operation will be developed in such a manner no run-off water can directly enter any waterbody, watercourse, groundwater, irrigation system, public roadway ditch, riparian area, critical wildlife zone, environmentally significant area, or regionally sensitive area;
- (e) there will be adequate provision for water treatment, temporary waste storage facilities and waste disposal in accordance with standards set by the appropriate provincial government departments and other approving authorities; and
- (f) all surface run-off associated with the development shall be contained on site.

9. RIVER VALLEYS AND SHORELANDS

- (1) Before approving any application to locate or expand any land use in or adjacent to a river valley or shoreland area, the Municipal Planning Commission shall refer such an application to any local, regional, or federal government agency if, in its opinion, has an interest in land use management.
- (2) No application to locate or expand any land use in or adjacent to a river valley or shoreland area shall be approved unless, in the opinion of the Municipal Planning Commission, the proposal will not:
 - (a) be located in a flood prone area;
 - (b) cause soil erosion or damage to a river bank;
 - (c) cause deterioration of water quality;
 - (d) hinder the flow of water to the river;
 - (e) compromise aesthetic quality or natural amenities;
 - (f) be detrimental to an environmentally significant area, regionally sensitive area, critical wildlife zone, riparian area or a waterbody;
 - (g) have a detrimental effect on adjoining or nearby agricultural operations if the proposed development is a non-agricultural use;
 - (h) have a detrimental effect on existing or proposed recreation areas; and



- (i) have a detrimental effect on existing or proposed irrigation canals or water diversion structures.

10. SERVICES, TRANSPORTATION AND UTILITIES FACILITIES

- (1) No application to locate or expand any land use shall be approved unless, in the opinion of the Municipal Planning Commission, the proposed use will not have a detrimental effect on any:
 - (a) transportation or communication systems, including designated highways, municipal roadways, railways, airport sites or communication facilities;
 - (b) an environmentally significant area, a regionally sensitive area, critical wildlife zone, riparian area, waterbody, area of historic or archaeological significance; or
 - (c) utility facilities, including irrigation works, pipelines and power transmission lines.
- (2) Any application for development located in the vicinity of a sour gas pipeline shall be circulated to the Alberta Energy Regulator for comments.

11. RURAL INDUSTRIAL AREAS

- (1) The Municipal Planning Commission may recommend to Council the designation of a rural industrial area. The municipality's planner shall be notified of any designation by Council of a rural industrial area.
- (2) Rural industrial areas shall, where possible:
 - (a) be located on poor agricultural land unless such locations, in the opinion of the Municipal Planning Commission, are not reasonably available;
 - (b) be serviced to the satisfaction of the Municipal Planning Commission; and
 - (c) use only the minimum area of land required.

12. STANDARDS OF DEVELOPMENT – See Schedule 4.

13. MOBILE/MODULAR HOME DEVELOPMENT STANDARDS – See Schedule 5.

14. MODULAR HOME COMMUNITY STANDARDS – See Schedule 6.

15. MOVED-IN BUILDINGS – See Schedule 7.

16. OFF-STREET PARKING AND LOADING AREA REQUIREMENTS – See Schedule 8.

17. SIGN REGULATIONS – See Schedule 9.

18. WIND ENERGY CONVERSION SYSTEMS – See Schedule 11.

19. SOLAR ENERGY SYSTEM AND ALTERNATIVE/RENEWABLE ENERGY SYSTEM – See Schedule 12.

20. FEES – See Appendix C.



Municipal District of Willow Creek #26 For Information

Date Submitted: March 26, 2020

Originated by: CAO

Subject: Fees Bylaw

RECOMMENDATION

To review Bylaw No. 1868 being the Fee's Bylaw and to undertake the first reading.

SUMMARY

Annually the Fees Bylaw is reviewed to ensure that user fees for municipal services are reflective of the costs to provide the service.

The following changes to Bylaw No. 1868 vary from the previously approved Bylaw No. 1836:

Addition to definitions section 2.1 (d) and (e)

Numbering corrections in Section 3 and Section 4

Section 4 – Land Use Development Fees

4.2(a) Reduce fee for 'application for a permitted use' to \$100 from \$200

-Permitted uses are administered by the Manager of Planning and Development
Officer administratively and costs – this fee will recover the administrative cost

4.2 (q) and (r) change "from" to "for"

Section 6 – Fire and Emergency Service Fees

6.1 (j) Reduce Fire Investigation fee from \$200 per hour to \$90 per hour to reflect cost
recovery.

Section 7 – Public Works Fees

Delete 7.1(y) Well Drilling in Municipal right-of-way application fee \$500.

-use of a crown right-of-way for this purpose should be discouraged

Amend 7.1(g) from per yard to per tonne

Amend 7.1(r) to "20% under" Alberta Road Builders rate

Correct 'ATV' to 'UTV' in Section 8.3(c)

Section 9

- Correct Pine Coulee camping fees to \$50.00 from \$40.00

- Add Section 9.2 referencing the cancellation period required to refund camping fees

Add Section 10 – Granum Cemetery Fees

Add Section 11 – Freedom of Information and Protection of Privacy Act Fees



Section 13 – repeal MDWC Fees Bylaw 1836 and Town of Granum Bylaw 2018-10

BACKGROUND

The Fees Bylaw is required to enable the municipality to implement a means by which fees may be charged for public services. The bylaw should be reviewed annually to ensure that it reflects a reasonable rate of recovery of costs for municipal services.

ATTACHMENTS

Fees Bylaw No. 1868

Prepared By:	Reviewed and Approved for Agenda
	
_____ Director / CAO / Committee	_____ Chief Administrative Officer

**MUNICIPAL DISTRICT OF WILLOW CREEK NO. 26
IN THE PROVINCE OF ALBERTA
BYLAW NO. 1868**

A Bylaw of The Municipal District of Willow Creek No. 26, in the Province of Alberta, for the purpose of setting of fees for providing services and information in the possession of the Municipality.

THEREFORE, the Council of The Municipal District of Willow Creek No. 26, duly assembled, enacts as follows:

Section 1 – Short Title

1.1 This bylaw shall be cited as the “Fees Bylaw”.

Section 2 – Definitions

2.1 In this bylaw:

- a) “ASB” means Agricultural Service Board.
- b) “Committee” means any committee of Council.
- c) “Market Value” means the price a seller is willing to accept and a buyer is willing to pay on the open market in an arm’s length transaction.
- d) “Municipality” or “M.D.” means the Municipal District of Willow Creek No. 26.
- e) “Freedom of Information and Protection Privacy Act” or “FOIP” means the Freedom of Information and Protection Privacy Act RSA 2000 Chapter F-25 and the Freedom of Information and Protection of Privacy Regulation AR 186/2008 as amended or replaced from time to time.
- f) “Payment” means the delivery of money to the Municipality, by cash, money order, cheque, interact, internet banking or credit card, where the transaction fee is paid by the customer.

Section 3 – Administrative Fees

3.1 In this bylaw, fees for services, taxes and information shall be paid at the time of the request or receipt of the service or information, using a payment as defined in Section 2(d), as follows:

- a) Tax Certificates - \$30.00 per certificate
- b) Assessment Sheets - \$5.00 per sheet
- c) Assessment Appeals
 - i) Residential/Farmland - \$50.00 per parcel
 - ii) Non-Residential - \$250.00 per parcel
- d) Paper copy - \$30.00 each (Land Use Bylaw, Municipal Development Plan, Inter-municipal Development Plans and Area Structure Plans)
- e) Electronic copy - \$15.00 (includes Land Use Bylaw, Municipal Development Plan, Intermunicipal Development Plan & Area Structure Plan)
- f) Photocopies/Faxes - \$1.00 per page
- g) Minutes of Council meetings and Committees - \$1.00 per page
- h) Correspondence presented to Council in a public meeting - \$1.00 per page for the Public (no charge to local reporter)
- i) Development applications and permits - \$1.00 per page
- j) Request for information search - \$50.00 per hour.
- k) Items returned by a financial institution - \$25.00 per item.
- l) M.D. Landownership wall maps - \$20.00 each
- m) M.D. Landownership book maps - \$25.00 each
- n) Municipal tower co-location application fee - \$2,000.00 per tower.

Section 4 – Land Use Development Fees

4.1 In this bylaw, fees for services related to land use development, as stated in the Land Use Bylaw and shall be paid at the time of application for a development permit or at the time of the request or receipt of the service or information using a payment as defined in Section 2(d), and shall be non-refundable, except in the case of an application by a charity, where the Municipal Planning Commission may consider a refund in whole or in part.

4.2 The list of fees for services provided in the Land Use Bylaw shall be as follows, except in the case where a development has commenced without a development permit, then Section 4.4 shall apply:

- a) Application for a permitted use \$100.00
- b) Application for a discretionary use \$300.00
excluding applications for Confined
Feeding Operations, Resource Extractions,
Campgrounds, WECS

c)	Resource Extraction Class 1	\$2000.00
d)	Resource Extraction Class 2	\$1000.00
e)	Intensive Livestock Operation	\$500.00
f)	Wind Energy Conversion System Category 1	\$300/parcel
g)	Wind Energy Conversion System Category 2	\$500.00/parcel
h)	Wind Energy Conversion System Category 3	\$1000.00/parcel
i)	Alternative Energy System Agriculture	\$600.00/parcel
j)	Alternative Energy System Household	\$300.00/parcel
k)	Alternative Energy System Commercial	\$1000.00/parcel
l)	Land Use Bylaw Amendment	\$2500.00
m)	Kennels – Category 1 and 2	\$500.00
n)	Request for a special meeting of Council, MPC or SDAB (plus appeal fee)	\$500.00
o)	Subdivision and Development Appeal	\$500.00
p)	Letter of Compliance	\$100.00
q)	Request for a waiver or variance excluding waiver or variance for trees or signage (plus application fee)	\$300.00
r)	Request for a waiver or variance for trees or signage (plus application fee)	\$50.00
s)	Campgrounds – Private	\$300.00
t)	Campgrounds – Commercial	\$1000.00
u)	Costs of registrations for Land Titles including easements, save harmless agreements, development agreements, and encroachment agreements	\$300.00
v)	Safety Code Permit Fees in Schedule ‘A’ which is attached and forms part of this bylaw.	

4.3 In any case where a required fee is not listed in Section 4 of this fee schedule, such fee shall be determined by the Chief Administrative Officer or his/her designate or the Municipal Planning Commission.

4.4 In the event a development has commenced upon the lands without benefit of a development permit as required in the Municipal land use bylaw, fees shall be double the amount listed in Section 4.2.

Section 5 – General Accounts

5.1 All accounts, with the exception of taxes, are due 30 days from the date of the invoice. Finance charges of 1.5% shall be applied after 30 days, compounded monthly. Past due reminders will be sent out every 30 days. Accounts outstanding for more than 90 days will be subject to collections through an agency, or through distress seizure, or by order of the courts, or applied to the tax roll in accordance with Section 553 of the *Municipal Government Act*. The account holder will be responsible for all costs associated with the collection of the account.

5.2 The Chief Administrative Officer, or his/her designate, has the authority to reduce or waive any of the charges or deposits set out in this bylaw for reasons that reasonably qualify as an error, emergency or of a humanitarian nature.

5.3 The Chief Administrative Officer or his/her designate, has the authority to waive a deposit, which may be required when renting agricultural service board equipment.

Section 6 – Fire and Emergency Services Fees

6.1 In this bylaw, the fees for fire and emergency services equipment, including personnel, provided on municipal roads or private and public property, shall be as follows:

- a) Rescue Unit/Pumper/Tanker-\$300.00 per unit per hour
- b) Command Unit - \$100.00 per hour
- c) Rescue Unit used as a Command Unit - \$100.00 per hour
- d) Medical Co-response unit - \$200.00 per hour
- e) Bush Buggy - \$200.00 per hour
- f) Truck and ATV Ranger - \$200.00 per hour
- g) Truck and water rescue boat - \$200.00 per hour
- h) Truck and trailer with livestock panels - \$200.00 per hour
- i) Water Truck - \$200.00 per hour
- j) Fire Investigation - \$90.00 per hour

6.2 Fire Equipment listed in Section 6.1 shall be billed at a minimum of one hour per piece of apparatus and in half hour increments after the first hour.

6.3 Municipal equipment used at an emergency scene shall be billed per hour, at the rate established by the Alberta Roadbuilder's Schedule.

6.4 In this bylaw the fees for fire and emergency services equipment including personnel responding within a provincial highway right-of-way shall be invoiced in accordance with Alberta Transportation Rates of Reimbursement for Fire Department Units for one hour minimum and at fifteen-minute increments after the first hour.

6.5 In this bylaw the fees for fire and emergency services equipment including personnel, responding to a mutual aid incident outside the boundaries of the municipality, shall be invoiced in accordance with Alberta Transportation Rates of Reimbursement for Fire Department Units for one hour minimum and at fifteen-minute increments after the first hour.

6.6 Billing time for emergency services will commence with the initial call for a response and cease when the unit(s) that attended are put back into service.

6.7 The Chief Administrative Officer, or his/her designate, has the authority to review all emergency events and where extraordinary circumstances exist may reduce, adjust or waive the charges set out in this bylaw for reasons that reasonably qualify as an error, emergency or of a humanitarian nature.

Section 7 – Public Works Fees

7.1 In this bylaw, fees for public works services and information shall be paid at the time of request, or upon receipt of an estimate, as follows:

- a) Application to close a road allowance - \$300.00 per half mile
- b) Maximum fee per road allowance application - \$500.00
- c) Road Allowance lease fees - \$6.00 per acre per year
- d) Minimum road allowance lease fee - \$10.00 per year
- e) Transfer of road allowance lease - \$10.00 per transfer
- f) Sale of a closed road allowance - \$4000.00 per acre plus all costs associated with the creation of a title including Land Titles Office registration fees
- g) Purchase of pasture, irrigated and cultivated land shall be at an amount, per acre, equal to 1.5 times market value, established through an analysis of market value for similar properties sold, within twelve (12) months previous, in the immediate area of the proposed land purchase. If sales are not available in the immediate area, the Chief Administrative Officer shall take into consideration, sales of similar properties in the Division or along the boundary of the Division, in which the Municipality wishes to purchase the lands.
- h) Municipal purchase of borrow - \$500.00 per acre
- i) Surface area disturbed - \$500.00 per acre
- j) Gravel royalty fee paid to pit owner - \$1.50 per tonne
- k) Gravel shall be set at market value per meter, as established by the Superintendent of Public Works
- l) Dust control – cost shall be 65% of total cost determined by the Superintendent of Public Works, taking into account the cost of materials, labour, and equipment.
- m) Texas gate – light rail 12' - \$800.00
- n) Texas gate – heavy rail 12' - \$1000.00
- o) Texas gate – heavy rail 16' - \$1250.00
- p) Texas gate – new style (pipe) – 12' - \$2200.00
- q) Texas gate – new style (pipe) 18' - \$2600.00
- r) Hourly equipment rates – 20% under Alberta Road Builders rate
- s) Heavy haul bond \$3000.00 per kilometer undeveloped road
- t) Heavy haul bond - \$5000.00 per kilometer graveled road
- u) Heavy haul bond -\$30,000.00 per kilometer oiled/paved road
- v) Roadata Services Ltd. Permit Fee - \$15.00/permit until August 18, 2016
- w) Roadata Services Ltd. Permit Fee - \$20.00/permit effective August 19, 2016
- x) Equipment billed as per Alberta Road Builder rates and billed hourly for any portion thereof.

Section 8 – Agricultural Service Board Fees

8.1 In this bylaw, weed spraying services, provided by the Municipality will be for the purpose of eradicating prohibited noxious and selected noxious weeds as defined in provincial legislation.

8.2 A deposit shall be paid to the Municipality for the rental of equipment and reimbursed after payment of the invoice for the rent and the equipment is inspected for damage. If damage is found the deposit shall be held until the renter pays for the damage.

8.3 In this bylaw fees for Agricultural services shall be as follows:

- a) Spray truck and operator – \$60.00 per hour
- b) Additional operator - \$30.00 per hour
- c) UTV sprayer and operator \$60.00 per hour
- d) Handpicking truck and operator - \$60.00 per hour
- e) Mower and operator - \$60.00 per hour
- f) GPS mapping service - \$60.00 per hour
Chemical used in service – at municipal cost
- g) Straw incorporator - \$100.00 per day - \$200.00 deposit
- h) Manure spreader - \$300.00 per day - \$1,000.00 deposit
- i) Delivery of manure spreader - \$50.00 per day
- j) Weed sprayer for herbicide – 200 gal tank - \$30.00 per day - \$100.00 deposit
- k) Weed sprayer for pesticide – 125 gal tank - \$30.00 per day - \$100.00 deposit
- l) Back pack sprayer – no charge - \$100.00 deposit
- m) Tree sprayer – 100 gal tank - \$30.00 per day - \$100.00 deposit
- n) Portable livestock scales - \$100.00 per day - \$500.00 deposit
- o) Tag reader – no charge- maximum use - 3 consecutive day - \$500.00 deposit
- p) Raccoon/Skunk/Magpie traps – no charge –\$70.00 deposit
- q) Hand held broadcast seeder – no charge - \$50.00 deposit

8.4 Fees for industrial uses of ASB equipment shall be as follows:

- a) Spray truck and operator - \$130.00 per hour
- b) Additional operator for hand line - \$27.00 per hour
- c) ATV sprayer and operator - \$130.00 per hour
- d) Handpicking truck and operator - \$130.00 hour
- e) Chemical used for service – Municipal cost plus 10%

Section 9 – Camping Fees and Hall Rental Fees

9.1 In this bylaw, fees, for camping and rentals shall be as follows:

- a) Camping fees for Pine Coulee - \$30.00 per unit per day
- b) (Sites 1 – 25) and \$25.00 per unit per day (Sites 26 – 29)
- c) Camping fees for Willow Creek - \$25.00 per unit per day
- d) Camping fees for Clear Lake - \$25.00 per unit per day
- e) Camping fees for John Zoeteman Park - \$25.00 per unit per day
- f) Pine Coulee camping fees – Group A - \$100.00 redeemable deposit plus \$30.00 per unit per day
- g) Pine Coulee camping fees – Group B and C - \$50.00 redeemable deposit plus \$25.00 per unit per day
- h) Willow Creek camping fees – Group A - \$50.00 redeemable deposit plus \$25.00 per unit per day
- i) Willow Creek camping Fees – Group B - \$50.00 redeemable deposit plus \$25.00 per unit per day
- j) Clear Lake Hall Rental - \$100.00 redeemable deposit plus \$75.00 for half day starting at 5:00 p.m. or \$150.00 for a full day.
- k) John Zoeteman Park – camp kitchen rental - \$25.00 per day

9.2 Pursuant to the fees outlined within Section 9.1 no refunds shall be made unless notice is provided 5 (five) days' in advance of the booking date.

Section 10 – Granum Cemetery

10.1 In this bylaw fees for Cemetery services for the Granum Cemetery shall be as follows:

- a) Single Plot includes Cremation Plot - \$375.00
- b) Internment includes opening and closing plot
 - i) Casket burial (weekday) - \$400.00
 - ii) Casket burial (weekend or statutory holiday) - \$550.00
 - iii) Cremation urn burial (weekday) - \$150
 - iv) Cremation urn burial (weekend or statutory holiday) - \$300
 - v) Oversize Urn (requires excavation larger than 45cm x 45 cm - \$150
 - v) Dis-internment – All costs plus 25%

Section 11 – Freedom of Information and Protection of Privacy Act

11.1 For the purpose of the Freedom of Information and Protection of Privacy Act the Chief Administrative Officer is the designated “Head” and charged with administering the FOIP act for the M.D. and may delegate any duties or responsibilities as deemed appropriate.

11.2 Where an applicant is required to pay a fee for services provided under the Freedom of Information and Protection of Privacy Act, the fees payable as established and enacted as follows shall be in accordance with the Freedom of Information and Protection of Privacy Regulation, AR 200/95 as amended from time to time or any successor Regulation that sets fees for requests for information from the Province.

11.3 In accordance with FOIP Act Section 93(1) and the Regulation the fees referred to in of the Act and Regulation must not exceed the actual costs of the services.

11.4 The M.D. FOIP fees are as follows:

- a) For Searching for, locating and retrieving a record - \$10.00 per ¼ hour.
- b) For producing a copy of a record by any process or in any medium or format – actual cost to the public body
- c) For supervising the examination of a record - \$7.00 per ¼ hour
- d) For shipping a record or a copy of a record – actual cost to the public body

Section 12 – Confidentiality

12.1. Release of all information including but not limited to commercial, contractual, legal, and personal information, shall be subject to the requirements of the *Freedom of Information and Protection of Privacy Act*.

Section 13 – Bylaws Repealed

13.1 Upon the passing of this bylaw Municipal District of Willow Creek No. 26 ‘Fees’ Bylaw 1836 and Town of Granum ‘Fees and Charges’ Bylaw 2018-10 are hereby repealed.

Read the first time in Council, this 8th day of April, 2020

Read a second time in Council this 22nd day of April, 2020

Read a third time in Council and finally passed this 22nd day of April, 2020

Reeve – Maryanne Sandberg

Chief Administrative Officer – Derrick Krizsan



Municipal District of Willow Creek #26 For Information

Date Submitted: April 3, 2020

Originated by: CAO

Subject: Municipal Hiring Policy

RECOMMENDATION

To adopt the Hiring Policy.

SUMMARY

Currently the MD of Willow Creek does not have a hiring policy. The adoption of this policy will ensure transparency and accountability.

BACKGROUND

As a public organization it is necessary for the Municipal District of Willow Creek to have a hiring policy that can be judged by the public to be consistent and fair and is based solely upon merit and achievement.

ATTACHMENTS

Hiring Policy
Staffing Request Form
Offer of Employment Letter
Position Advertising Template
Job Application Form

Prepared By:

Director / CAO / Committee

Reviewed and Approved for Agenda

Chief Administrative Officer



120-45 – Hiring Policy

Purpose: Establish a hiring policy for full and part time employees

Scope: Employees

Responsibility: Administration

Description

The Municipal District of Willow Creek shall seek to recruit, select and hire employees who are qualified and capable in a manner that is transparent and fair.

Purpose

As a public organization it is necessary for the Municipal District of Willow Creek to have a hiring policy that can be judged by the public to be consistent and fair and is based solely upon merit and achievement.

Objectives

1. The CAO will approve all staffing and compensation levels subject to available budget.
2. All employment related matters including hiring, promotions, performance appraisals and discipline shall be undertaken in an objective and impartial manner.
3. Supervisors must submit a "Staffing Request Form" in the prescribed format before any person may be hired. (CAO and Director of Finance) This form ensures compliance to this policy and the annual budget.
4. All employment positions at the MD that need to be filled will be advertised for a reasonable period of time publicly and internally for the benefit of Municipal employees.
5. All candidates for positions will complete either; a Municipal District of Willow Creek Job Application Form or submit a resume that specifies education, experience, past work experience and references. This includes returning seasonal employees.
6. Department Heads will be responsible for interviewing and hiring individuals in their respective departments. Returning seasonal employees do not have to be interviewed. The successful candidate will be chosen from all candidates who applied for the position.
7. The MD prohibits employment situations where family members would be supervised by or subordinate to one another, be given preferential treatment in being recruited or selected for a position or be appointed to positions where job responsibilities would be incompatible with positions occupied by family members or close personal friends. Supervisory staff will avoid hiring individuals who are related to staff members.
8. All offers of employment will be in writing using the standardized offer of employment format, prepared by payroll administration, utilizing information from the Staffing Request Form, and in accordance with the Policy and signed by both the department head and the new employee.
9. The original employment letter signed by both individuals to be returned to Payroll.
10. New Employees will be subject to probationary period of up to 3 months unless prior approval is given.

11. All employees will acknowledge and sign the Safety Manual acknowledgement page and a driver's abstract and criminal record check as required.
12. All Employee and Payroll records will be maintained and secured by the Payroll Clerk. Access to these records will be in accordance with the FOIP act.
13. The CAO will review hiring practices to ensure equity.

Effective date: April 8, 2020

Signed by: _____ - Reeve

_____ - Chief Administrative Officer

Attachments:

Staffing Request Form
Offer of Employment Letter
Position Advertising Template
Job Application Form

Municipal District of Willow Creek – Staffing Request Form

Hiring supervisors must complete this form and submit to Administration for approval before any job offer is extended. This form must be completed with all required information attached. No hiring may be undertaken until a copy of this form is returned to you verifying the approval of hiring. Original forms to be kept within personnel files with all attachments secured to this form.

Action Requested

☐ Fill vacant position ☐ Reclassify position (seasonal to full time) ☐ Establish new position*

**Must include a justification memo and department organizational chart along with a current position description.*

Position Information

Department: ☐ Hamlets (including landfills and water) ☐ ASB ☐ Public Works (including parks) ☐ Administration

Name of Hire: _____

Position Description: _____

Status: New Employee [] Returning Employee []

Employment Classification: ☐ Full Time Employee (*employment term with no definite ending date*)
☐ Seasonal Employee (*employment term may be terminated within any 24 month period with notice*)
☐ Summer Employee (*employment term may not exceed 6 months during any 12 consecutive months*)
☐ Temporary Employee (*employment term may not exceed a total of 12 months in any 24-month period*)
☐ Contractor (*individual meets the definition of 'contractor' within CRA legislation*)

Dates of Employment: Start Date: / / D

End Date / /

Y M D

Hours of Work: ☐ 8.0 hours / day ☐ 10.0 hours / day ☐ Other _____

Offered Hours of Work: _____ Budgeted Hours of Work: _____

Offered Rate of Pay: _____ Budgeted Rate of Pay: _____

Assigned Telephone Number: _____

Assigned Email Address: _____@mdwillowcreek.com

Checklist (Attached)

☐ **Job Advertisement** Website ☐ Newspaper ☐ Other ☐ _____

[] Job Description

[] Employment Application Form or Resume (with full name and address information) SIN & birthdate is done on registration form

[] Drivers Abstract

☐ Employment Offer Letter (completed)

☐ Criminal Record Check (required if this person may be required to enter a private dwelling, interacts with vulnerable persons or handles cash)

Request/Verification/Approval

Requesting Hiring Supervisor

Date Requested

Finance	Date Payroll Budget Verified
---------	------------------------------

Chief Administrative Officer

Date of Hiring Approval

PAYROLL USE ONLY

Employment Application form Complete: Y / N **Drivers Abstract Current:** Y / N **Employment Offer Letter Complete:** Y / N **CRC Complete** Y / N

Employee Number: _____

All information Complete Yes ☐ No ☐ Date Returned to Supervisor for Review : _____



**Are you looking for your
next Career Challenge?**

Name of Position

Description of Position

If you meet the following requirements, we want to hear from you!

Requirements:

Position Requirements

We Offer:

- Competitive compensation.
- A positive working environment.
- A personally fulfilling and professionally challenging position.
- Ongoing opportunities for personal and professional development.
- Exciting Opportunity to work in a team-based, supportive environment.
- A Community without equal – something for every member of your family.

Only **e-mail** resumes will be accepted. All resumes must include three professional references. Please forward your resume in care of:

Name and Email of person who will receive resume's

This competition will close on CLOSING DATE. We thank all applicants for their interest, however; only those selected for an interview will be contacted.

www.mdwillowcreek.com - Check out our community and our lifestyle.



JOB APPLICATION FORM

(Please Print)

Updated March 2020

Date: _____ Position Applied For: _____

PERSONAL INFORMATION

Are you legally permitted to work in Canada? _____

Name: _____
First Name Middle Name Surname

Address: _____
City/Town Province Postal Code

Phone: _____ Driver's Licence # _____ Class: _____ Exp. Date _____

EDUCATION

Date	Institution	Course	Degree/Dip/Cert
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

EMPLOYMENT (Begin with most recent)

Employer: _____ Address: _____
Supervisor's Name: _____ Phone #: _____
Position Held: _____ Duties: _____
Date of Employment – From: _____ To: _____
Reason for Leaving: _____

Employer: _____ Address: _____
Supervisor's Name: _____ Phone #: _____
Position Held: _____ Duties: _____
Date of Employment – From: _____ To: _____
Reason for Leaving: _____

If additional Employers, please continue on reverse side of Application Form

References: (Name 2 business or work associates. Recent graduates may name teachers or professors.)

1. _____ Years Acquainted: _____ Phone: _____
1. _____ Years Acquainted: _____ Phone: _____

ADDITIONAL INFORMATION

Signature

Date

From: municipalservicesandlegislation@gov.ab.ca <municipalservicesandlegislation@gov.ab.ca>
Sent: March 27, 2020 2:49 PM
Subject: Municipal Governance-COVID-19 March 26 2020 Issue

Dear CAOs:

Following from my March 20, 2020 message, I am pleased to inform you that new measures are in place to help address your challenges with managing and governing during this unprecedented time. These measures are intended to support your efforts in following the recommendations of the Chief Medical Officer of Health, and provide some relief in response to the economic strain on your citizens and your municipality.

On Monday, the education property tax deferral for business was announced, and through upcoming webinar sessions we will be providing information on the implementation.

The Meeting Procedures (COVID-19 Suppression) Regulation was enacted this week to provide flexibility to ensure meetings and public hearings are conducted in a manner that protects the health of all participants and observers. A copy can be viewed at <http://www.qp.alberta.ca/507.cfm>.

Lastly, in response to the many inquiries received about upcoming mandatory deadlines or timelines, many of those have been extended to October 1, 2020, and the deadlines for ICFs and IDPs have been extended to April 1, 2021.

Attached you will find an updated frequently asked questions document providing an overview of actions taken this week to aid municipalities and their residents.

I would like to reiterate that Municipal Affairs fully understands the challenges you are facing and we will continue to explore ways to ease the pressures you are experiencing. I encourage you to contact our advisory support services if you have municipal governance questions. You can speak directly to a municipal advisor by calling 780-427-2225 or toll-free by first dialing 310-0000.

Sincerely,

Paul Wynnyk
Deputy Minister

Attachment

Municipal Governance

During the COVID-19 Outbreak

Frequently Asked Questions – March 27, 2020

The *Municipal Government Act (MGA)* governs how municipalities operate and is one of the most significant and far-reaching statutes in Alberta. While the *MGA* provides the framework for municipalities to work within, the COVID-19 outbreak has presented unique operational challenges for local government operations.

In response, Alberta Municipal Affairs continues to explore and implement various measures to support municipalities.

COVID-19 – Municipal Legislative Modifications

View the new Regulation, Ministerial Orders and Orders In Council at qp.alberta.ca

To assist municipalities in complying with legislative meeting requirements, the ***Meeting Procedures (COVID-19 Suppression) Regulation*** has been enacted. The regulation allows meetings to be held in a manner that supports social distancing recommendations from the Chief Medical Officer of Health. Municipalities now have flexibility when conducting meetings and public hearings by electronic means, navigating quorum challenges due to councillors in quarantine, as well as methods for providing information to the public.

In addition to this new regulation, many timelines and deadlines legislated in the *Municipal Government Act (MGA)* have been extended by Ministerial Orders MSD:019/20 and MSD:022/20.

Council Meetings

Can meetings be held entirely by electronic means?



YES. During the COVID-19 health emergency, when the *MGA* requires a council, board or commission to hold a meeting, an electronic meeting (e.g., live-stream, teleconference, etc.) meets that requirement as long as:

- notice of the electronic meeting is provided and states the electronic means being used and gives the information necessary for the public to access the meeting;
- the public is able to hear the meeting as it is occurring;
- anybody entitled to make submissions, before and during the meeting, can make submissions by email or any other method that the council, board, or commission considers appropriate; and
- the following people attend by electronic means:
 - CAO or designated officer;
 - For a commission, growth management board or subdivision and development appeal board, the chair or vice-chair
 - For a composite or a local assessment review board, the presiding officer.

Public Libraries Resources

Resources are available at <https://www.alberta.ca/public-library-services.aspx>

Is the CAO or designated officer required to be at a physical location for an electronic meeting?

NO. During the COVID-19 health emergency, section 199 of the *MGA* has been modified so the public and the CAO do not need to be physically in attendance provided there is an electronic means that permits the meeting to be heard as it occurs.

Is there more flexibility for conducting public hearings?

YES. Section 230 of the *MGA* requires council to hear any person who claims to be affected by the proposed bylaw or resolution or wishes to make a presentation and has complied with the procedures outlined by the council.

During the COVID-19 health emergency, any person entitled to make submissions, before and during the meeting, can make submissions by email or any other method that the council, board, or commission considers appropriate.

Do advertisements for public notice have to contain a physical address?

NO. During the COVID-19 health emergency, section 606(6)(b) is modified so that the meaning of “place where it will be held” may include a website address, phone number or other information identifying where the meeting can be electronically accessed.

Are there additional options for making information available to the public?

YES. Where the *MGA* requires information to be available to the public for public inspection, this can be done by making it electronically available on the website or if requested, by sending the information to the person by email or mail or fax.

Are there options to achieve quorum if we have councilors or board members in quarantine?

YES. If quorum is unable to be achieved because of quarantine (this does not apply to self-isolation), quorum is constituted by the number of remaining members who are not in quarantine, provided the number remaining is two (2) or more.

Time Extensions

Have there been any extensions to upcoming deadlines?



YES. Through Ministerial Order No. MSD:022/20 the following deadlines have been extended to October 1, 2020:

- Statistical Information Returns (SIRS)
- Financial Information returns (FIRS) (s. 278)
- Audited Financial Statements for municipalities and Regional Services Commissions (s. 278 and s. 602.34)
- Notice of assessment date as required on an assessment notice (s. 308.1)
- The date by which assessment notices must be sent out by (s. 310(1))
- Arrears list to the Registrar (Land Titles), the unclaimed personal property and vested property program, and the requirement to post the arrears list (s. 412)
- Notification provided by the Registrar (Land Titles), warning of a tax sale to owners of a parcel of land and all those that have an interest in a parcel of land that are shown on the arrears list (s. 417)
- Tax sales that were required to be held by March 31 of 2020 (sec. 418(2))
- Notification provided by the municipality, warning of a tax sale to owners of a designated manufactured home, the designated manufactured home park owner, and all those that have an interest in the designated manufactured home that are shown on the arrears list (s. 436.08)
- Annual reports respecting clean energy improvement programs (s. 12 of the Clean Energy Improvements Regulation (AR 212/2018))

Are summer villages expected to hold organizational meetings by August 31?

NO. All summer villages have until October 1, 2020 to hold annual organizational meetings.

Are there extensions to actions that must be undertaken within specified timeframes?

YES. In sections of the *MGA* where there is a specified amount of time to do something which is triggered by an action occurring, Ministerial Order No. MSD: 022/20 extended the date for the specified time to October 1, 2020. That means that the time period triggered by the event is deemed to end on October 1 or to end as specified under the *MGA* or associated regulation, whichever time is later.

For example, under normal circumstances a CAO must report to council within 45 days of receiving a petition, on whether the petition is sufficient (section 226(1) of the *MGA*). During the COVID-19 health emergency, Ministerial Order MSD:022/20 states that if a petition from electors is received now, the CAO is not required to report to council regarding the petition's sufficiency until October 1, 2020.

Please refer to the listed items in Appendix 2 of MO MSD:022/20 (qp.alberta.ca) and apply this logic to your municipal issue. If you have any questions or concerns, please do not hesitate to contact a municipal advisor to discuss further.

Do I still need to request time extensions from the Minister?

YES. It is important you review Ministerial Order MSD:022/20 as the extension does not apply to everything. Extension requests are required for items not included in the Ministerial Order. An example is the need to request an extension for by-election timelines if there is a council vacancy.

Emergency Management Act

For questions regarding changes to the Act please contact the Alberta Emergency Management Agency at 780-422-9000 or toll-free by first dialing 310-0000.

ICFs and IDPs

Is there an extension for ICFs and IDPs?

YES. Ministerial Order No. MSD:019/20 has extended the time for an intermunicipal collaboration framework to be created pursuant to Section 708.28(1) of the *MGA* or an intermunicipal development plan to be adopted pursuant to Section 631(1) to April 1, 2021.

Previous exemptions from IDP requirements have been maintained (e.g. municipalities whose borders consist completely of crown land).

Municipal Advisory Services

If you have further questions, please contact us at:

780-427-2225

or toll-free by first dialing 310-0000

Or email ma.lgsmail@gov.ab.ca

Further Updates

Municipal Affairs is aware of the unique operational challenges municipalities are facing at this unprecedented time.

We will continue to examine ways to support municipalities in navigating through this situation, and will provide further updates as new tools become available.



ALBERTA

MUNICIPAL AFFAIRS

*Office of the Minister
MLA, Edmonton-South West*

AR100003

March 31, 2020

His Worship Brent Feyter
Mayor
Town of Fort Macleod
PO Box 1420
Fort Macleod AB T0L 0Z0

Dear Mayor Feyter,

Through the Alberta Community Partnership (ACP) program, the Government of Alberta encourages strengthened relationships between municipalities and cooperative approaches to service delivery. By working in partnership with our neighbours, we create opportunities that support economic development and job creation. Together, we help build vibrant, resilient communities for the benefit of all Albertans.

I am pleased to inform you that the Town of Fort Macleod has been approved for a grant of \$200,000 under the 2019/20 ACP Intermunicipal Collaboration component in support of your Intermunicipal Collaborative Framework Service Agreements and Recreation Study project. This approval does not signify broader support for any recommendation or outcome that might result from your project.

The conditional grant agreement will be sent shortly to your chief administrative officer to obtain the appropriate signatures.

The provincial government looks forward to celebrating your ACP-funded project with you and your municipal partnership. I encourage you to send invitations for these milestone events to my office. We ask you advise Municipal Affairs a minimum of 15 working days prior to the proposed event. If you would like to discuss possible activities or events to recognize your ACP achievements, please contact a grant advisor, toll-free at 310-0000, then 780-422-7125, or at acp.grants@gov.ab.ca.

.../2

- 2 -

I congratulate the partnership on initiating this project, and I wish you every success in your efforts.

Sincerely,



Hon. Kaycee Madu
Minister of Municipal Affairs

cc: Roger Reid, MLA, Livingstone-Macleod
Doug MacPherson, Mayor, Town of Claresholm
Jennifer Handley, Mayor, Town of Nanton
Gentry Hall, Mayor, Town of Stavely
Maryanne V. Sandberg, Reeve, Municipal District of Willow Creek
Susan Keenan, Municipal Manager, Town of Fort Macleod
Marian Carlson, Chief Administrative Officer, Town of Claresholm
Neil Smith, Chief Administrative Officer, Town of Nanton
Candice Greig, Chief Administrative Officer, Town of Stavely
Derrick Krizsan, Chief Administrative Officer, Municipal District of Willow Creek

March 27, 2020

Southern Alberta Recreation Association
C/O Board Members



Dear SARA Board,

In light of the ever-changing world that we now find ourselves in and due to the Covid-19 pandemic, the Town of Raymond feels it is in the best interest of the community, as well as all the Southern Alberta communities, to cancel this years Summer Games.

We find ourselves in a very difficult position at this time in our attempts to do any type of fundraising to help offset some of the significant costs we will incur, when there is a high likelihood the games will be cancelled by the government anyway.

With the closure of the schools in Alberta, the registration process for the Games will be severely hampered and we feel the great majority of participants will not want to risk greater exposure attending an event such as this. Not only will our participant levels be severely affected, but our volunteer pool will be decimated as well.

We want to do the responsible thing and recognize that a decision needs to be made immediately so we can refocus our efforts and energies on the health and wellness of our communities to assist them through this crisis.

The Town of Raymond was very excited to host the 2020 Games and show off our love of sport and competition, but we know that will be impossible because of the effects of the virus pandemic at this time. We are discussing with the County of Warner the possibility of hosting the 2022 Summer Games and would like to let the SARA Board know of our potential interest.

Sincerely,

Jim Depew
Mayor





FAQs:

MAJOR CHANGES AT NANTON RECYCLING DEPOT

DUMP GUMP INC. AWARDED LICENCE OF OCCUPATION AT FORMER RECYCLING DEPOT

NANTON, AB (March 31st 2020) – Beginning in early May, a private operator will begin operating at the former Recycling Depot, offering a range of similar, but fee-based services.

BACKGROUND

In November, the Town is issued a Request for Expressions of Interest (REOI) to accompany the release concerning Recycle Depot Closure. The goal was to give community and regional interests every opportunity to express how recycling transfer at the site might continue sustainably with minimal impact to the taxpayer. The site and its improvements had known potential in the medium to long term for the establishment of a viable regional waste or recycling transfer station.

NEW BUSINESS OPERATION, SAME FACILITY

This is not a new local government service by contract, but the facilitation of an extension of Dump Gump Inc.'s operations into private recycling and waste transfer services. These services **will not** be defined by the Town of Nanton. Mr. Oulton, the owner, will be setting up in due course with information for existing and prospective new customers in the local area. We wish him all the very best.

YARD AND TREE DEBRIS

The Town shall, in the short term, continue providing yard waste and tree debris management for the community from the facility from March and October on a limited schedule. Even though the processing of this waste is problematic at this time, **Council recognizes that this service fulfills an important function for many in the community and is committed to its continuance in some form.**

WHAT IS A LICENCE OF OCCUPATION?

It is a non-exclusive tenure (not a lease) that enables more than one interest to be active on the same property. It offers greater flexibility on municipal land where the municipality is still active and operating.

-Ends-

For more information:

Town of Nanton
2107 – 21 Avenue, Box 609
Nanton, AB T0L 1R0
403-646-2029
www.nanton.ca